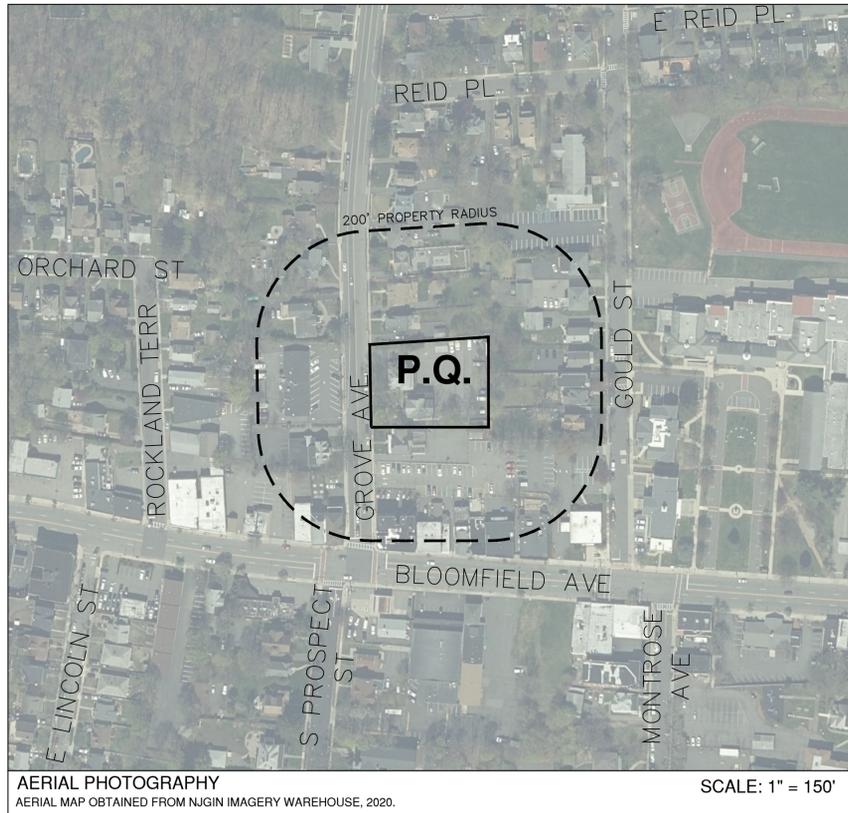


PRELIMINARY AND FINAL SITE PLAN

PREPARED FOR ABBASI CONSTRUCTION, LLC

21 & 25 GROVE AVENUE
BLOCK 1702 LOT 22
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY



SITE DATA CHART				
LOT 22 BLOCK 1702 ZONE: C-2 (PROFESSIONAL OFFICE & BUSINESS) AREA: 31,210 SF (0.7165 ACRES)		OWNER: 21 AND 25 GROVE ASSOCIATES LLC 21 AND 25 GROVE ASSOCIATES TWO LLC 21 GROVE AVENUE VERONA, NJ 07044	APPLICANT: ABBASI CONSTRUCTION, LLC 6716 NEWKIRK AVENUE NORTH BERGEN, NJ 07047	
EXISTING USE: COMMERCIAL PROPOSED USE: TOWNHOUSE APARTMENTS (11 UNITS)				
BULK STANDARDS (\$150 ZONING)				
DESCRIPTION	CODE	EXISTING	PROPOSED	COMPLIANCE
LOT REQUIREMENTS				
MIN. LOT SIZE	15,000 SF	31,210 SF	NO CHANGE	YES
MIN. LOT WIDTH	100 FT	145.5 FT	NO CHANGE	YES
MAX. BUILDING COVERAGE	30%	10.6%	31.9%	NO*
MAX. IMPROVED LOT COVERAGE	65%	69.4%	64.9%	YES
PRINCIPAL BUILDING REQUIREMENTS				
MIN. FRONT YARD	20 FT	29.8 FT	20.0 FT	YES
MIN. SIDE YARD - ONE	15 FT	10.9 FT	VARIES (12.9 FT MIN.)	NO*
MIN. SIDE YARD - BOTH	35 FT	60.4 FT	VARIES (27.9' - 35.11')	NO*
MIN. REAR YARD	50 FT	103.2 FT	18.4 FT	NO*
MAX. HEIGHT	30 FT	2 1/2 STORIES	3 STORIES (SEE SHEET SP-4.3 FOR BLDG. HEIGHTS)	NO*
MAX. FLOOR AREA RATIO	0.50 (15,585 SF)	-	0.838 (GROSS 26,163 SF) ⁽¹⁾	NO*
PARKING AND LOADING REQUIREMENTS (\$150-12)				
PARKING SPACES	27 SPACES	-	36 SPACES	YES
PARKING STALL SIZE	9 FT x 20 FT ⁽²⁾	-	9 FT x 18 FT ⁽³⁾	NO*
MIN. PARKING AISLE WIDTH	24 FT	-	20 FT	NO*
MIN. DRIVE AISLE WIDTH	20 FT	-	20 FT	YES
MIN. FOOT CANDLES IN PARKING AREAS	1.0 fc	-	1.0 fc	YES
MISC. REQUIREMENTS				
MAX. RETAINING WALL HEIGHT (SIDE/REAR YARDS)	6 FT	-	4 FT	YES
MIN. DECK SIDE YARD SETBACK	15 FT	-	VARIES (5' - 8.5')	NO*

* VARIANCE REQUIRED
⁽¹⁾ TAKEN FROM ARCHITECTURAL PLANS PREPARED BY BODNAR ARCHITECTURAL STUDIO AND DATED 01/20/2026
⁽²⁾ OR 9 FT x 18 FT WITH A 2 FT OVERHANG
⁽³⁾ PER RSIS:
 a. A ONE-CAR GARAGE AND DRIVEWAY COMBINATION SHALL COUNT AS 2.0 OFF-STREET PARKING SPACES, PROVIDED THE DRIVEWAY MEASURES A MINIMUM OF 18 FEET IN LENGTH BETWEEN THE FACE OF THE GARAGE DOOR AND THE RIGHT-OF-WAY.
 b. A TWO-CAR GARAGE AND DRIVEWAY COMBINATION SHALL COUNT AS 3.5 OFF-STREET PARKING SPACES, PROVIDED A MINIMUM PARKING WIDTH OF 20 FEET IS PROVIDED FOR A MINIMUM LENGTH OF 18 FEET AS SPECIFIED FOR A ONE-CAR GARAGE AND DRIVEWAY COMBINATION.

REQUIRED PARKING CALCULATIONS (RSIS §§:21-4.14):

2.4 PER 3 BEDROOM UNIT
 11-3 BEDROOM UNITS PROPOSED
 (2.4 x 11) = 26.4 SPACES → 27 SPACES REQUIRED
 ELECTRIC VEHICLE PARKING CALCULATIONS (PER N.J.A.C. 40:550-66.20):

27 SPACES x 15% = 4.05 → 4 EV SPACES REQUIRED

4 EV SPACES PROPOSED

PROPOSED PARKING CALCULATIONS (PER RSIS §§:21-4.14)

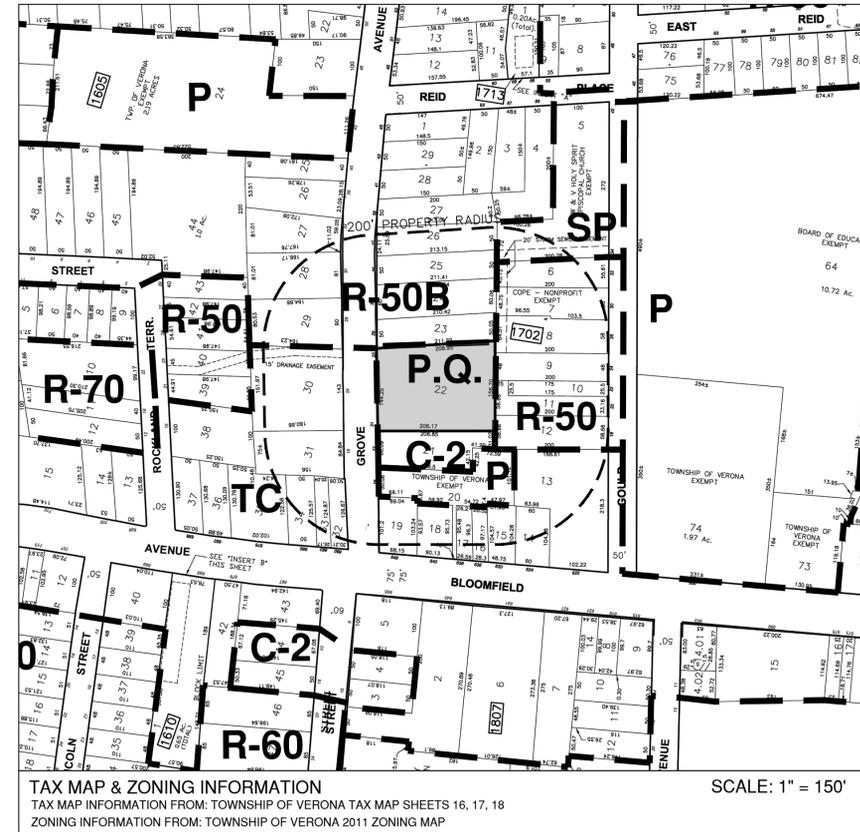
TWO-CAR GARAGE AND DRIVEWAY COMBINATION: 3.5 SPACES PER RSIS
 ONE-CAR GARAGE AND DRIVEWAY COMBINATION: 2.0 SPACES PER RSIS

6 GARAGE AND DRIVEWAY COMBINATIONS = (3.5 x 6) = 21 SPACES
 5 GARAGES WITH NO DRIVEWAY PARKING = (2.0 x 3) + (1.0 x 2) = 8 SPACES
 SURFACE LOT = 4 SPACES
 EV CREDIT (COUNTS AS DOUBLE UP TO 10% OF REQUIREMENT) = 3 SPACES

TOTAL = 36 SPACES

BUILDING COVERAGE CALCULATIONS		
DESCRIPTION	EXISTING	PROPOSED
HOUSE/TOWNHOUSE	2,901 SF	9,944 SF
GARAGE	420 SF	0 SF
TOTAL:	3,321 SF	9,944 SF
CALCULATION:	3,321 SF / 31,210 SF	9,944 SF / 31,210 SF
PERCENTAGE:	10.6%	31.9%

LOT COVERAGE CALCULATIONS		
DESCRIPTION	EXISTING	PROPOSED
HOUSE/TOWNHOUSE	2,901 SF	9,944 SF
GARAGE	420 SF	0 SF
DRIVEWAY/CURBS	16,054 SF	8,297 SF
WALKWAYS	2,251 SF	744 SF
PAVERS	0 SF	23 SF
DECKS	0 SF	900 SF
WALLS	0 SF	270 SF
EQUIPMENT PADS	25 SF	0 SF
REFUSE PAD	0 SF	108 SF
TOTAL:	21,651 SF	20,268 SF
CALCULATION:	21,651 SF / 31,210 SF	20,268 SF / 31,210 SF
PERCENTAGE:	69.4%	64.9%



TAX MAP & ZONING INFORMATION
 TAX MAP INFORMATION FROM: TOWNSHIP OF VERONA TAX MAP SHEETS 16, 17, 18
 ZONING INFORMATION FROM: TOWNSHIP OF VERONA 2011 ZONING MAP

SCALE: 1" = 150'

LIST OF DRAWINGS		
SHEET NO.	NAME	PREPARED BY
SP-1	TITLE SHEET	PETRY ENGINEERING
SP-2	EXISTING CONDITIONS AND DEMO PLAN	PETRY ENGINEERING
SP-3	LAYOUT PLAN	PETRY ENGINEERING
SP-4.1	GRADING & DRAINAGE PLAN	PETRY ENGINEERING
SP-4.2	DETAILED GRADING PLAN AT ENTRANCES	PETRY ENGINEERING
SP-4.3	AVERAGE GRADE KEY MAP	PETRY ENGINEERING
SP-4.4	UTILITY PLAN	PETRY ENGINEERING
SP-4.5	STORM AND SANITARY SEWER PROFILES	PETRY ENGINEERING
SP-5	LANDSCAPE PLAN	PETRY ENGINEERING
SP-6.1	LIGHTING PLAN	PETRY ENGINEERING
SP-6.2	LIGHTING DETAILS	PETRY ENGINEERING
SP-7.1	SOIL EROSION AND SEDIMENT CONTROL PLAN	PETRY ENGINEERING
SP-7.2	SESSC NOTES AND DETAILS	PETRY ENGINEERING
SP-8.1	GENERAL NOTES	PETRY ENGINEERING
SP-8.2	CONSTRUCTION DETAILS	PETRY ENGINEERING
SP-8.3	CONSTRUCTION DETAILS	PETRY ENGINEERING
TM-1	TURNING MOVEMENTS	PETRY ENGINEERING
TM-2	TURNING MOVEMENTS	PETRY ENGINEERING
TM-3	FIRETRUCK TURNING MOVEMENTS	PETRY ENGINEERING
TM-4	SU-30 TURNING MOVEMENTS	PETRY ENGINEERING
TM-5	AMBULANCE TURNING MOVEMENTS	PETRY ENGINEERING
1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY	AZZERNA AND PETRY ENGINEERING INC.
ZN1	ARCHITECTURAL SITE PLAN ZONING DATA	BODNAR ARCHITECTURAL STUDIO
ZN2	UNIT PLANS ELEVATION	BODNAR ARCHITECTURAL STUDIO
ZN3	GROVE AVENUE ELEVATION & DETAILS	BODNAR ARCHITECTURAL STUDIO
ZN4	REAR ELEVATION	BODNAR ARCHITECTURAL STUDIO
ZN5	6 UNIT SIDE ELEVATION	BODNAR ARCHITECTURAL STUDIO
ZN6	7 UNIT SIDE ELEVATION	BODNAR ARCHITECTURAL STUDIO
ZN7	UNIT ELEVATIONS	BODNAR ARCHITECTURAL STUDIO
ZN8	UNIT ELEVATIONS	BODNAR ARCHITECTURAL STUDIO

GENERAL NOTES:

- A PERMIT IS REQUIRED FROM THE OFFICE OF THE COUNTY ENGINEER PRIOR TO BEGINNING ANY WORK ALONG GROVE AVENUE.
- ALL WORK WITHIN THE COUNTY ROAD RIGHT-OF-WAY SHALL BE ACCORDING TO ESSEX COUNTY STANDARDS.

LIST OF APPROVALS REQUIRED:

- TOWNSHIP OF VERONA ZONING BOARD
- ESSEX COUNTY PLANNING BOARD SITE PLAN
- HEPCSD SOIL EROSION AND SEDIMENT CONTROL

APPROVALS

TOWNSHIP OF VERONA ZONING BOARD

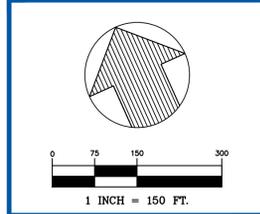
APPROVED AS A SITE PLAN BY THE TOWNSHIP OF VERONA ZONING BOARD ON _____ DATE _____

ZONING BOARD CHAIRPERSON _____ DATE _____

ZONING BOARD SECRETARY _____ DATE _____

BOARD ENGINEER _____ DATE _____

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	1/29/26



CHECKED BY: SPD
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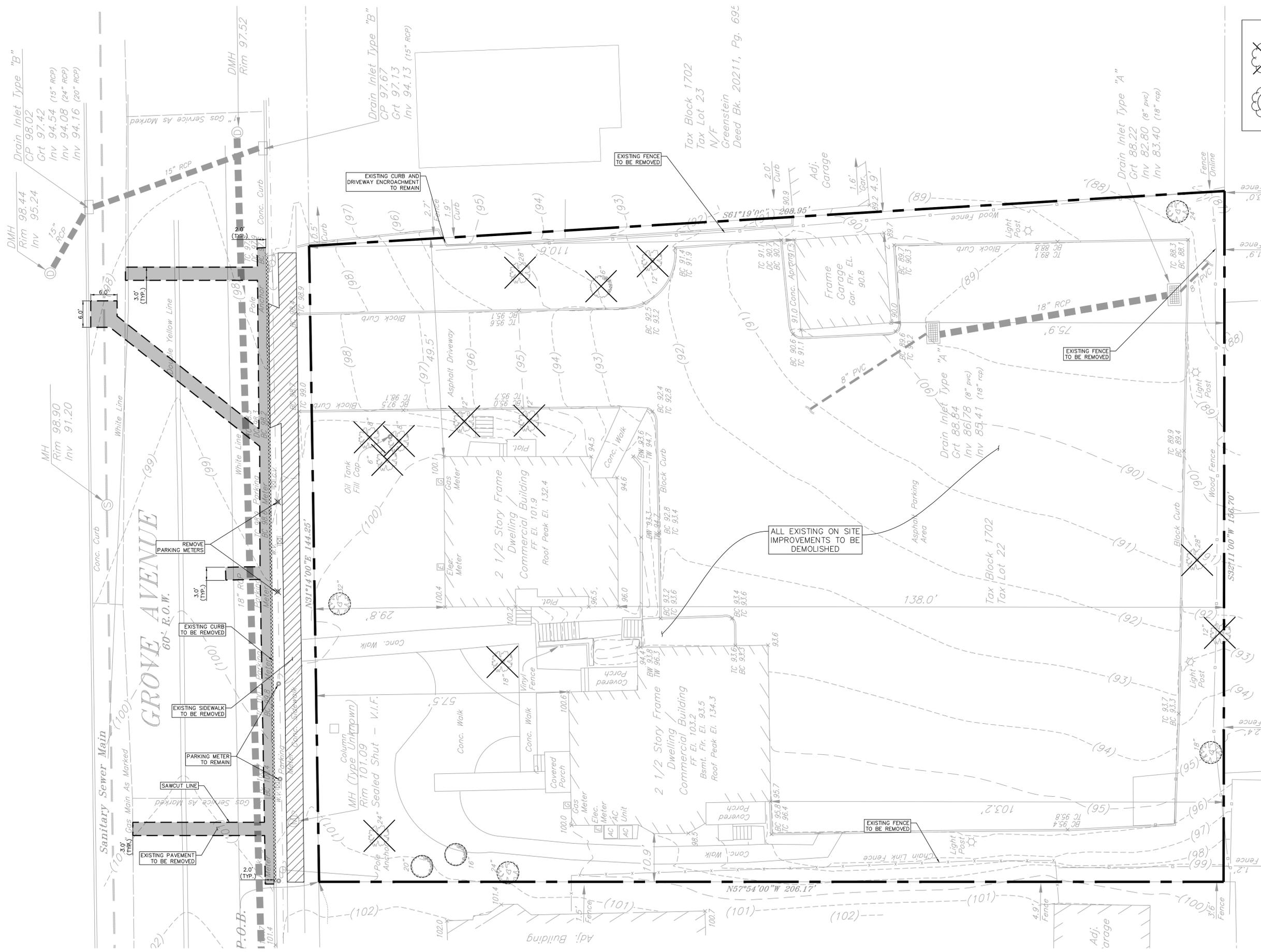
J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER LIC. No. 36662
 DATE: 10/06/2025

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

TITLE: **TITLE SHEET**

PROJECT #: **25-250** SHEET: **SP-1**



LEGEND

- TO BE REMOVED
- PROTECT EXISTING TREE

PETRY ENGINEERING, LLC
 150 HANCOCK AVENUE, SUITE 200, VERONA, NJ 07093
 TEL: (973) 227-7004 FAX: (973) 227-7074
 PETRYENGINEERING.COM

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26

0 5 10 20
 1 INCH = 10 FT.

CHECKED BY: SPD
 DRAFTED BY: JAF

PETRY ENGINEERING, LLC

J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER LIC. No. 36662
 DATE: 10/09/2025

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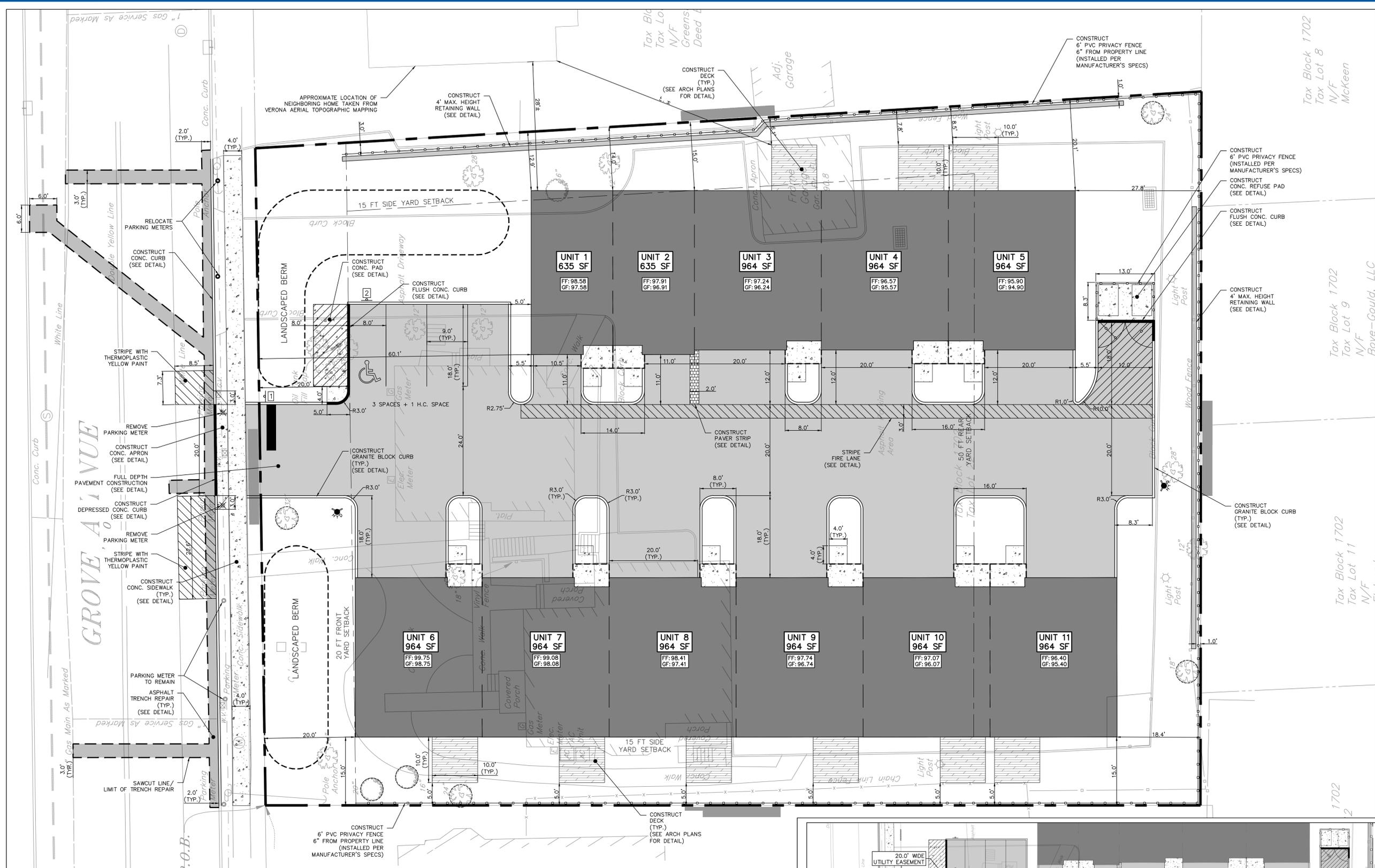
PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

TITLE:
EXISTING CONDITIONS AND DEMO PLAN

PROJECT #:
25-250

SHEET:
SP-2

REFERENCES:
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.

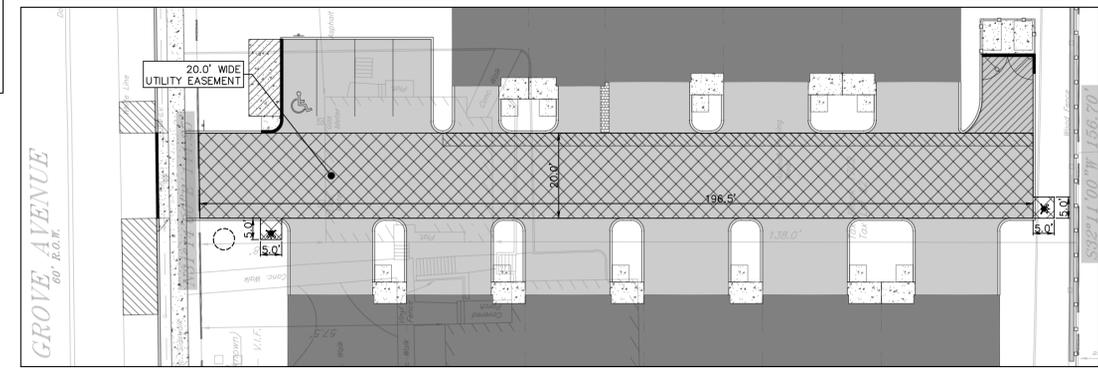


LAYOUT PLAN
SCALE: 1" = 10'

SIGN LEGEND	
1	R1-1 STOP SIGN
2	R7-8 & 8B HANDICAP PARKING

- NOTES:
1. THE APPLICANT SHALL BE AWARE OF THEIR RESPONSIBILITY TO REPAIR ANY DAMAGE TO IMPROVEMENTS WITHIN THE GROVE AVENUE RIGHT-OF-WAY INCLUDING, BUT NOT LIMITED TO, ANY SIDEWALK, CURB, AND ASPHALT, CAUSED BY CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE IMPROVEMENTS ON THE SUBJECT LOT.
 2. ALL ADA PARKING SPACES, ACCESSIBLE PATHS AND PEDESTRIAN FACILITIES CONSTRUCTED ON SITE AND WITHIN PUBLIC RIGHTS-OF-WAYS MUST BE CONSTRUCTED IN ACCORDANCE WITH FEDERAL ADA STANDARDS. COMPLIANT DESIGN AND CONSTRUCTION CERTIFICATIONS FOR ADA FACILITIES MUST BE SUBMITTED TO THE MUNICIPAL ENGINEER.
 3. ANY DAMAGE TO THE TOWNSHIP ROADWAY, CURB OR STORM DRAINAGE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO SATISFACTORILY ADDRESS AS PER THE TOWNSHIP ENGINEER. THE CONTRACTOR MUST MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.



EASEMENT KEY MAP
SCALE: 1" = 20'

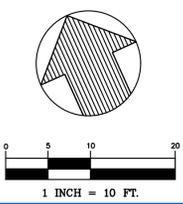
Tax Block 1702
Tax Lot 8
N/F
McKeen

Tax Block 1702
Tax Lot 9
N/F
Bove-Gould, LLC

Tax Block 1702
Tax Lot 11
N/F



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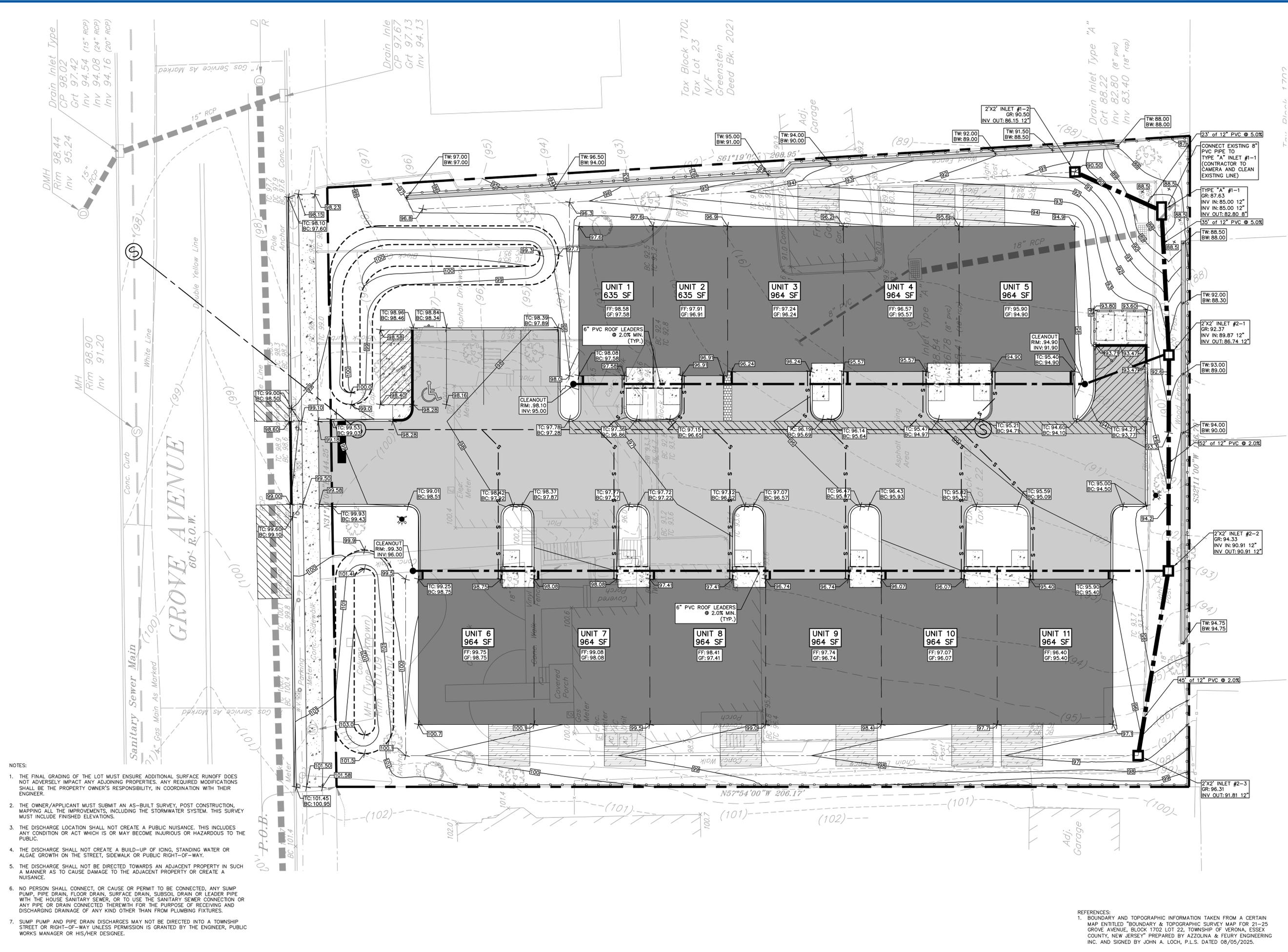
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PREPARED FOR
ABBASI CONSTRUCTION, LLC
BLOCK 1702, LOT 22
21-25 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

TITLE:
LAYOUT PLAN

PROJECT #:
25-250

SHEET:
SP-3



- NOTES:
- THE FINAL GRADING OF THE LOT MUST ENSURE ADDITIONAL SURFACE RUNOFF DOES NOT ADVERSELY IMPACT ANY ADJOINING PROPERTIES. ANY REQUIRED MODIFICATIONS SHALL BE THE PROPERTY OWNER'S RESPONSIBILITY, IN COORDINATION WITH THEIR ENGINEER.
 - THE OWNER/APPLICANT MUST SUBMIT AN AS-BUILT SURVEY, POST CONSTRUCTION, MAPPING ALL THE IMPROVEMENTS, INCLUDING THE STORMWATER SYSTEM. THIS SURVEY MUST INCLUDE FINISHED ELEVATIONS.
 - THE DISCHARGE LOCATION SHALL NOT CREATE A PUBLIC NUISANCE. THIS INCLUDES ANY CONDITION OR ACT WHICH IS OR MAY BECOME INJURIOUS OR HAZARDOUS TO THE PUBLIC.
 - THE DISCHARGE SHALL NOT CREATE A BUILD-UP OF ICING, STANDING WATER OR ALGAE GROWTH ON THE STREET, SIDEWALK OR PUBLIC RIGHT-OF-WAY.
 - THE DISCHARGE SHALL NOT BE DIRECTED TOWARDS AN ADJACENT PROPERTY IN SUCH A MANNER AS TO CAUSE DAMAGE TO THE ADJACENT PROPERTY OR CREATE A NUISANCE.
 - NO PERSON SHALL CONNECT, OR CAUSE OR PERMIT TO BE CONNECTED, ANY SUMP PUMP, PIPE DRAIN, FLOOR DRAIN, SURFACE DRAIN, SUBSOIL DRAIN OR LEADER PIPE WITH THE HOUSE SANITARY SEWER, OR TO USE THE SANITARY SEWER CONNECTION OR ANY PIPE OR DRAIN CONNECTED THEREWITH FOR THE PURPOSE OF RECEIVING AND DISCHARGING DRAINAGE OF ANY KIND OTHER THAN FROM PLUMBING FIXTURES.
 - SUMP PUMP AND PIPE DRAIN DISCHARGES MAY NOT BE DIRECTED INTO A TOWNSHIP STREET OR RIGHT-OF-WAY UNLESS PERMISSION IS GRANTED BY THE ENGINEER, PUBLIC WORKS MANAGER OR HIS/HER DESIGNEE.

REFERENCES:
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.

PETRY ENGINEERING, LLC
 DIVISION OF CALDWELL ENGINEERING, L.L.C.
 100 HIGHLAND AVENUE, SUITE 200, VERONA, NJ 07093
 TEL: (973) 227-7004 FAX: (973) 227-7074
 PETRYENGINEERING.COM

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26

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 DRAFTED BY: JAF

1 INCH = 10 FT.

PETRY ENGINEERING, LLC

J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER, Lic. No. 36662
 DATE: 10/09/2025

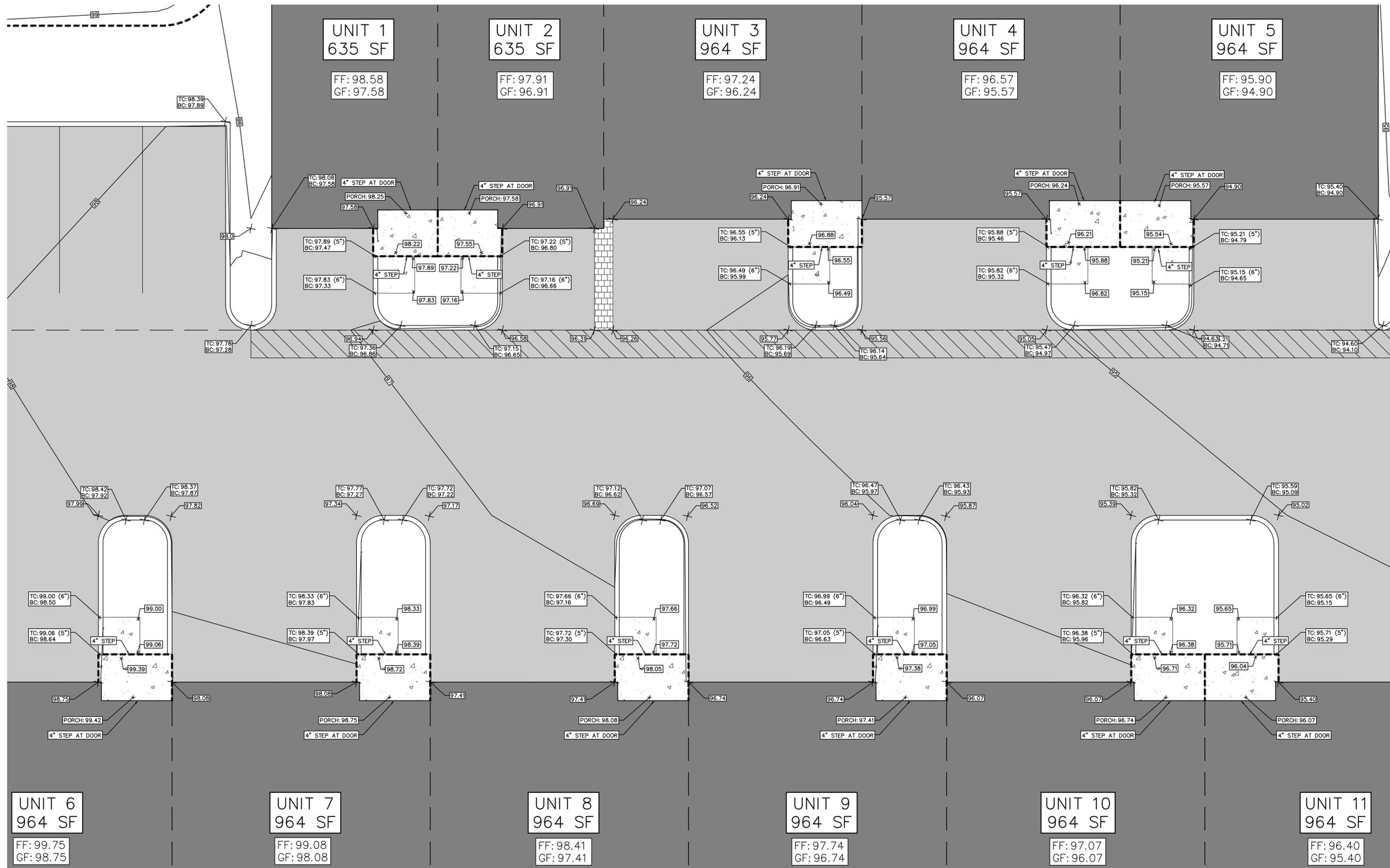
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PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

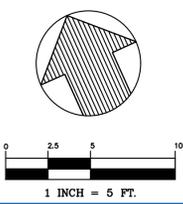
TITLE:
GRADING AND DRAINAGE PLAN

PROJECT #:
25-250

SHEET:
SP-4.1



REV	DESCRIPTION	DATE
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NJ PROFESSIONAL ENGINEER LIC. No. 36662
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PREPARED FOR
ABBASI CONSTRUCTION, LLC
BLOCK 1702, LOT 22
21-25 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

TITLE:
DETAILED GRADING PLAN AT ENTRANCES

PROJECT #:
25-250

SHEET:
SP-4.2

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.

Unit 1			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	94.35	97.58	94.35
B	93.63	97.58	93.63
C	92.84	97.58	92.84
D	92.63	98.58	92.63
E	92.54	98.58	92.54
F	92.38	98.58	92.38
G	93.00	98.58	93.00
H	94.02	97.58	94.02
I	95.80	98.08	95.80
J	94.43	97.96	94.43
K	93.54	97.82	93.54
L	93.45	97.68	93.45
Average:	93.55	98.02	93.55
First Floor Elevation:	98.58		
First Floor to Ridge:	34.67*		
Building Height =	39.70		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	42.86		

Unit 2			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	92.84	97.58	92.84
B	91.44	97.25	91.44
C	90.97	96.91	90.97
D	91.17	97.91	91.17
E	91.58	97.91	91.58
F	91.77	97.91	91.77
G	92.07	96.46	92.07
H	92.46	96.91	92.46
I	93.00	98.58	93.00
J	92.38	98.58	92.38
K	92.54	98.58	92.54
L	92.63	98.58	92.63
Average:	92.07	97.76	92.07
First Floor Elevation:	97.91		
First Floor to Ridge:	34.67*		
Building Height =	40.51		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	43.67		

Unit 3			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	90.97	96.91	90.97
B	90.70	96.69	90.70
C	90.80	96.46	90.80
D	90.80	96.24	90.80
E	90.80	97.24	90.80
F	90.59	97.24	90.59
G	90.77	97.24	90.77
H	91.01	97.24	91.01
I	91.32	96.24	91.32
J	91.72	96.24	91.72
K	92.07	96.46	92.07
L	91.77	97.91	91.77
M	91.58	97.91	91.58
N	91.17	97.91	91.17
Average:	91.15	97.00	91.15
First Floor Elevation:	97.24		
First Floor to Ridge:	34.67*		
Building Height =	40.76		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	43.92		

Unit 4			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	90.80	96.24	90.80
B	90.25	96.02	90.25
C	89.14	95.79	89.14
D	88.90	95.57	88.90
E	88.72	96.57	88.72
F	89.13	96.57	89.13
G	89.77	96.57	89.77
H	90.15	96.57	90.15
I	90.53	95.57	90.53
J	90.84	95.57	90.84
K	91.01	97.24	91.01
L	90.77	97.24	90.77
M	90.59	97.24	90.59
N	90.80	97.24	90.80
Average:	90.10	96.43	90.10
First Floor Elevation:	96.57		
First Floor to Ridge:	34.67*		
Building Height =	41.14		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	44.30		

Unit 5			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	88.90	95.57	88.90
B	88.68	95.35	88.68
C	88.47	95.12	88.47
D	88.44	94.90	88.44
E	88.64	95.00	88.64
F	88.93	95.14	88.93
G	89.21	95.29	89.21
H	89.64	95.37	89.64
I	88.97	94.90	88.97
J	90.14	94.90	90.14
K	90.15	96.57	90.15
L	89.77	96.57	89.77
M	89.13	96.57	89.13
N	88.72	96.57	88.72
Average:	89.13	95.56	89.13
First Floor Elevation:	95.90		
First Floor to Ridge:	34.67*		
Building Height =	41.44		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	44.60		

Unit 6			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	100.15	99.25	99.25
B	100.21	98.75	98.75
C	100.61	98.75	98.75
D	100.43	99.75	99.75
E	100.63	99.75	99.75
F	100.87	99.75	99.75
G	100.73	99.75	99.75
H	100.52	100.15	100.15
I	100.65	100.34	100.34
J	100.65	100.56	100.56
K	100.52	100.75	100.52
L	100.42	100.52	100.42
M	100.36	100.25	100.25
N	100.35	99.85	99.85
Average:	100.51	99.87	99.85
First Floor Elevation:	99.75		
First Floor to Ridge:	34.67*		
Building Height =	34.57		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	37.73		

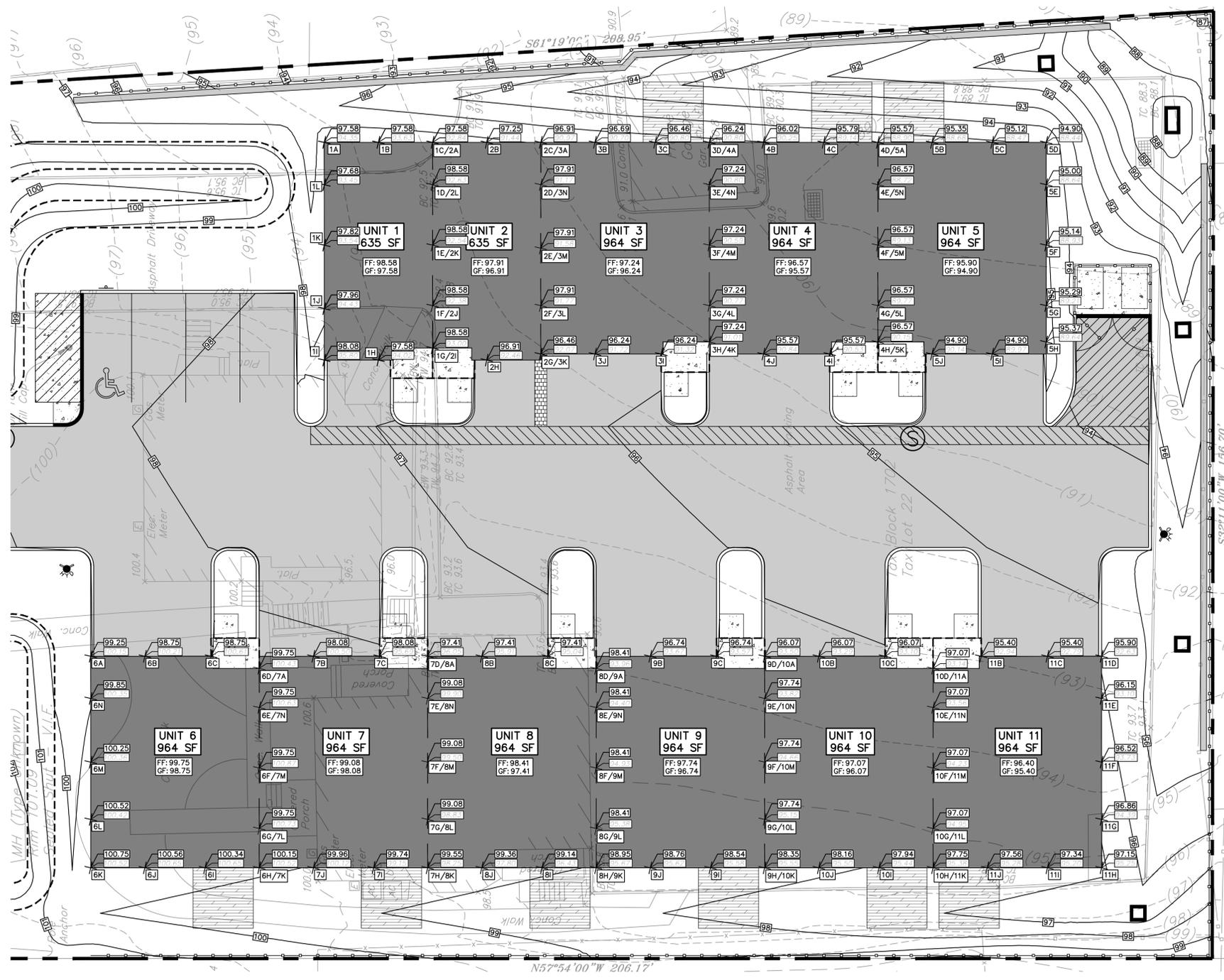
Unit 7			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	100.43	99.75	99.75
B	100.50	98.08	98.08
C	95.69	98.08	95.69
D	96.05	97.41	96.05
E	99.90	99.08	99.08
F	99.50	99.08	99.08
G	98.83	99.08	98.83
H	98.25	99.55	98.25
I	99.15	99.74	99.15
J	100.12	99.96	99.96
K	100.52	100.15	100.15
L	100.73	99.75	99.75
M	100.87	99.75	99.75
N	100.63	99.75	99.75
Average:	99.37	99.23	98.81
First Floor Elevation:	99.08		
First Floor to Ridge:	34.67*		
Building Height =	34.94		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	38.10		

Unit 8			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	96.05	97.41	96.05
B	95.91	97.41	95.91
C	95.04	97.41	95.04
D	93.96	98.41	93.96
E	94.40	98.41	94.40
F	94.93	98.41	94.93
G	95.38	98.41	95.38
H	95.67	98.95	95.67
I	96.43	99.14	96.43
J	97.80	99.36	97.80
K	98.25	99.55	98.25
L	98.83	99.08	98.83
M	99.50	99.08	99.08
N	99.90	99.08	99.08
Average:	96.58	98.58	96.49
First Floor Elevation:	98.41		
First Floor to Ridge:	34.67*		
Building Height =	36.59		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	39.75		

Unit 9			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	93.96	98.41	93.96
B	93.67	96.74	93.67
C	93.57	96.74	93.57
D	93.50	96.07	93.50
E	93.82	97.74	93.82
F	94.66	97.74	94.66
G	95.15	97.74	95.15
H	95.55	98.35	95.55
I	95.58	98.54	95.58
J	95.62	98.76	95.62
K	95.67	98.95	95.67
L	95.38	98.41	95.38
M	94.93	98.41	94.93
N	94.40	98.41	94.40
Average:	94.68	97.93	94.68
First Floor Elevation:	97.74		
First Floor to Ridge:	34.67*		
Building Height =	37.73		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	40.89		

Unit 10			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	93.50	96.07	93.50
B	93.29	96.07	93.29
C	93.10	96.07	93.10
D	93.14	97.07	93.14
E	93.56	97.07	93.56
F	94.23	97.07	94.23
G	94.95	97.07	94.95
H	95.38	97.75	95.38
I	95.44	97.94	95.44
J	95.50	98.16	95.50
K	95.55	98.35	95.55
L	95.15	97.74	95.15
M	94.66	97.74	94.66
N	93.82	97.74	93.82
Average:	94.38	97.28	94.38
First Floor Elevation:	97.07		
First Floor to Ridge:	34.67*		
Building Height =	37.03		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	40.52		

Unit 11			
Point	Ex. Elev.	Pr. Elev.	Lowest
A	93.14	97.07	93.14
B	92.94	95.40	92.94
C	92.79	95.40	92.79
D	92.63	95.90	92.63
E	93.10	96.15	93.10
F	93.73	96.52	93.73
G	94.39	96.86	94.39
H	95.25	97.15	95.25
I	95.20	97.34	95.20
J	95.28	97.56	95.28
K	95.38	97.75	95.38
L	94.95	97.07	94.95
M	94.23	97.07	94.23
N	93.56	97.07	93.56
Average:	94.04	96.74	94.04
First Floor Elevation:	96.40		
First Floor to Ridge:	34.67*		
Building Height =	37.03		
FF to Stair Bulk Head:	37.83*		
Building Height to SBH =	40.19		



* TAKEN FROM ARCHITECTURAL PLANS PREPARED BY BODNAR ARCHITECTURAL STUDIO AND DATED 01-20-2026.

PETRY ENGINEERING, LLC
 DIVISION OF CAVALIER ENGINEERING, L.L.C.
 21-25 GROVE AVENUE, SUITE 200, VERONA, NJ 07093
 TEL: (973) 227-7004 FAX: (973) 227-7074
 PETRYENGINEERING.COM

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26

0 5 10 20
 1 INCH = 10 FT.

CHECKED BY: SPD
 DRAFTED BY: JAF

PETRY ENGINEERING, LLC

J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER LIC. No. 36662
 DATE: 10/08/2025

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

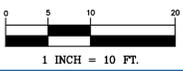
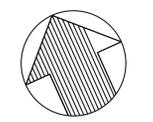
TITLE:
AVERAGE GRADE KEY MAP

PROJECT #:
25-250

SHEET:
SP-4.3

REFERENCES:
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	1/29/26



CHECKED BY: SPD
DRAFTED BY: JAF



J. MICHAEL PETRY, PE, PP, RA
NJ PROFESSIONAL ENGINEER LIC. No. 36662
DATE: 10/09/2025

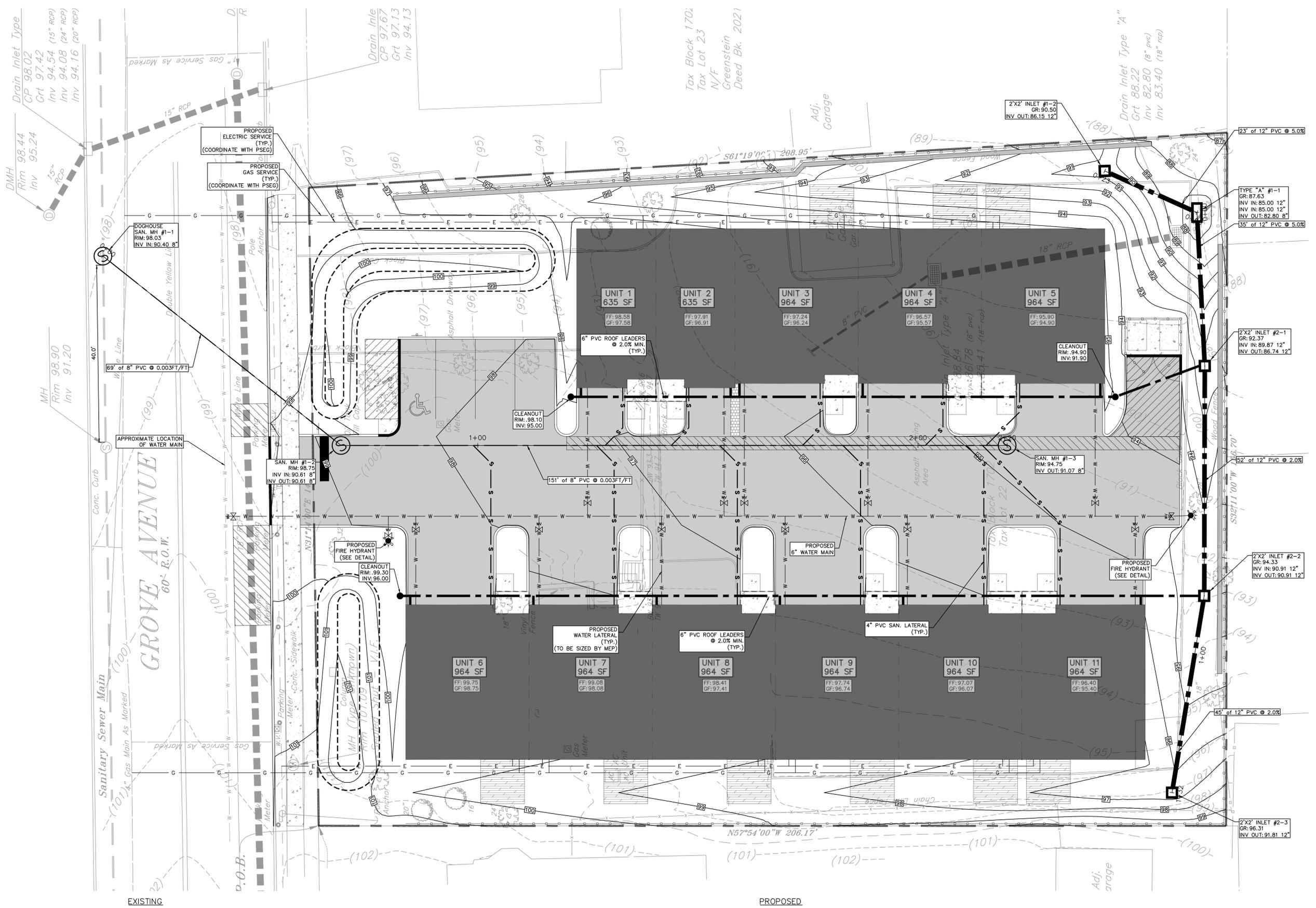
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PREPARED FOR
ABBASI CONSTRUCTION, LLC
BLOCK 1702, LOT 22
21-25 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

TITLE:
UTILITY PLAN

PROJECT #:
25-250

SHEET:
SP-4.4



SEWER DEMAND CALCULATION:
COMMERCIAL: 5,178 SF FLOOR AREA (PER NJ PROPERTY RECORDS)
5,178 SF * 0.100 GPD/SF = 517.8 GPD

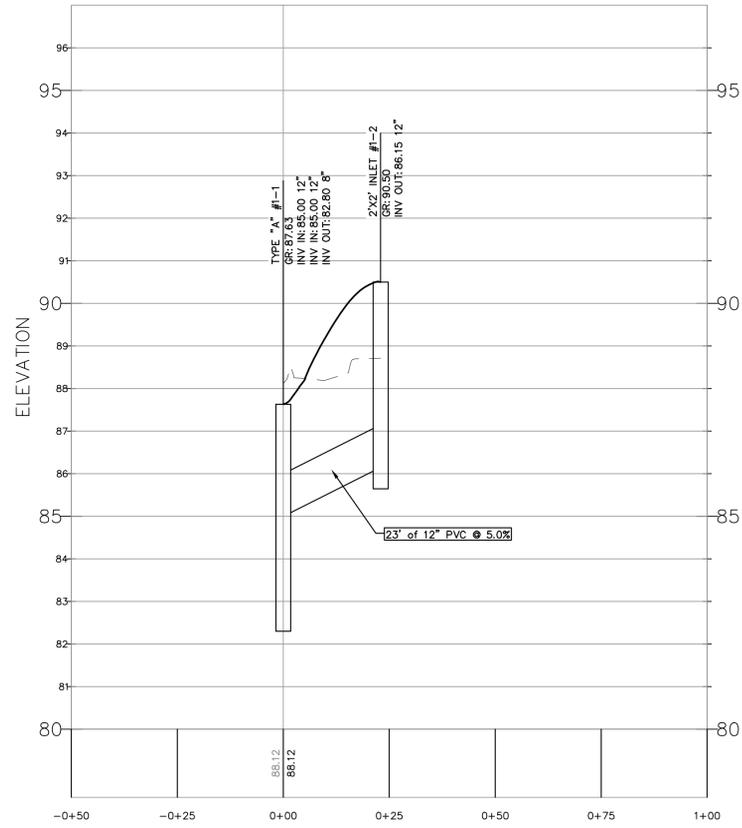
WATER DEMAND CALCULATION:
TOWNHOUSES: 5,178 SF FLOOR AREA (PER NJ PROPERTY RECORDS)
5,178 SF * 0.125 GPD/SF = 647.25 GPD

SEWER DEMAND CALCULATION:
TOWNHOUSE: 11-3 BEDROOM UNITS
11 X 300 GPD = 3,300 GPD
* TWA APPLICATION IS NOT REQUIRED SINCE GPD IS LESS THAN 8,000 GPD.

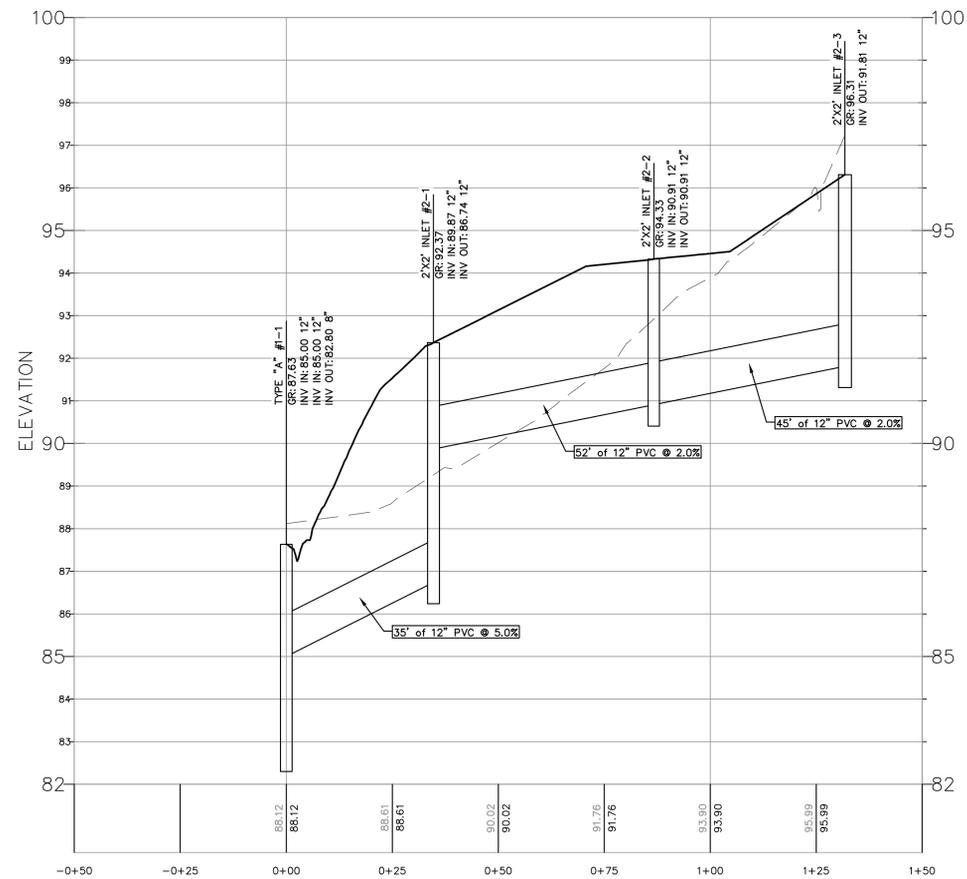
WATER DEMAND CALCULATION:
TOWNHOUSES: 11-3 BEDROOM UNITS
11 X 215 GPD = 2,365 GPD
* WATER MAIN EXTENSION APPLICATION IS NOT REQUIRED SINCE THERE ARE LESS THAN 30 REALTY IMPROVEMENTS AND LESS THAN 3,000 FEET IN LENGTH.

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.

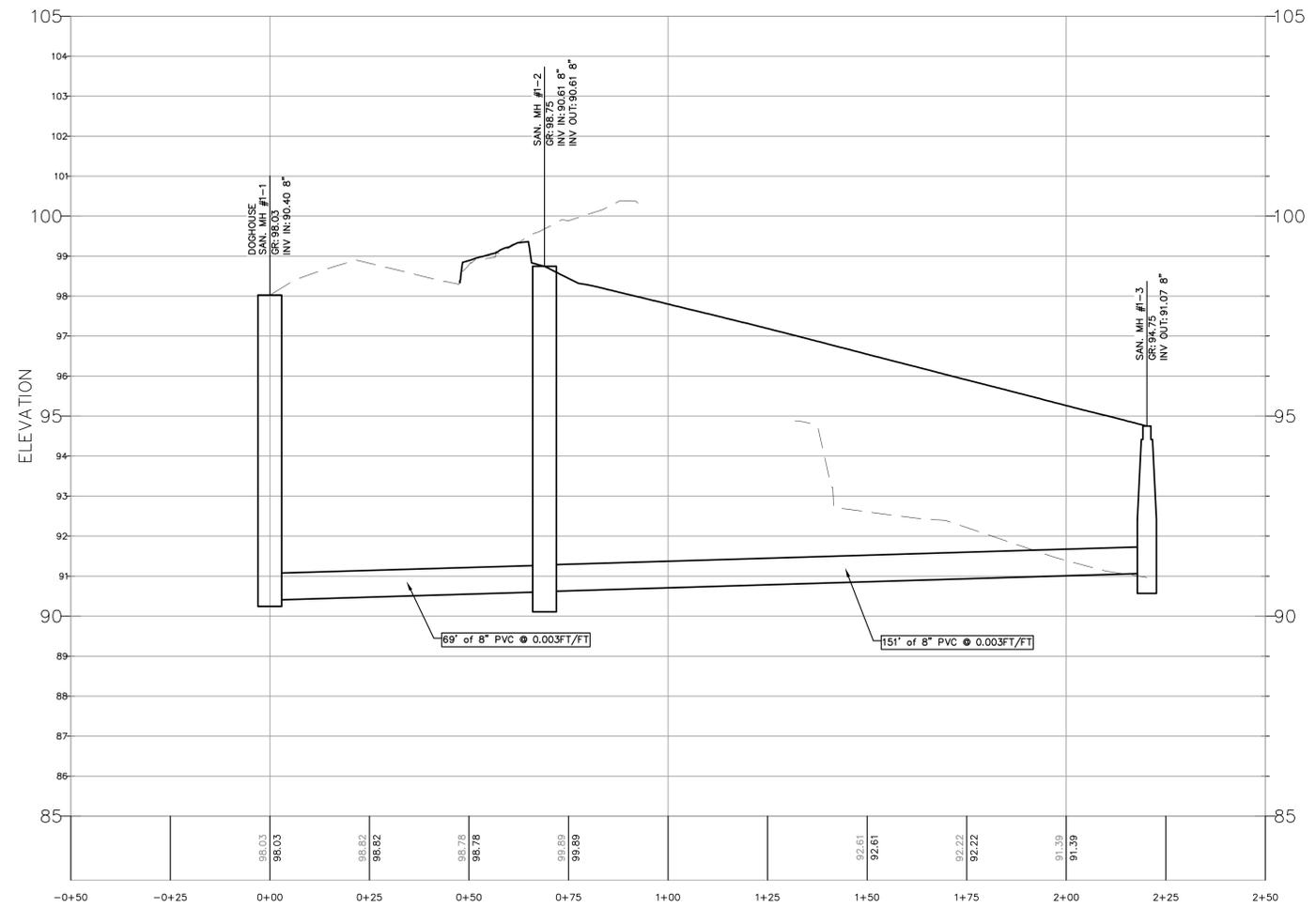
STORM SEWER NETWORK #1 PROFILE



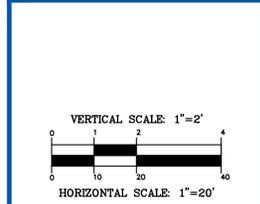
STORM SEWER NETWORK #2 PROFILE



SANITARY SEWER NETWORK #1 PROFILE



REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/20



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J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER, LIC. No. 36662
 DATE: 10/05/2025

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PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

TITLE:
STORM AND SANITARY SEWER PROFILES

PROJECT #:
25-250

SHEET:
SP-4.5

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26

CHECKED BY: SPD
DRAFTED BY: JAF

1 INCH = 10 FT.

J. MICHAEL PETRY-PE, PP, RA
NJ PROFESSIONAL ENGINEER LIC. No. 36662
DATE: 10/06/2025

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PREPARED FOR
ABBASI
CONSTRUCTION, LLC
BLOCK 1702, LOT 22
21-25 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

TITLE:
LANDSCAPE PLAN

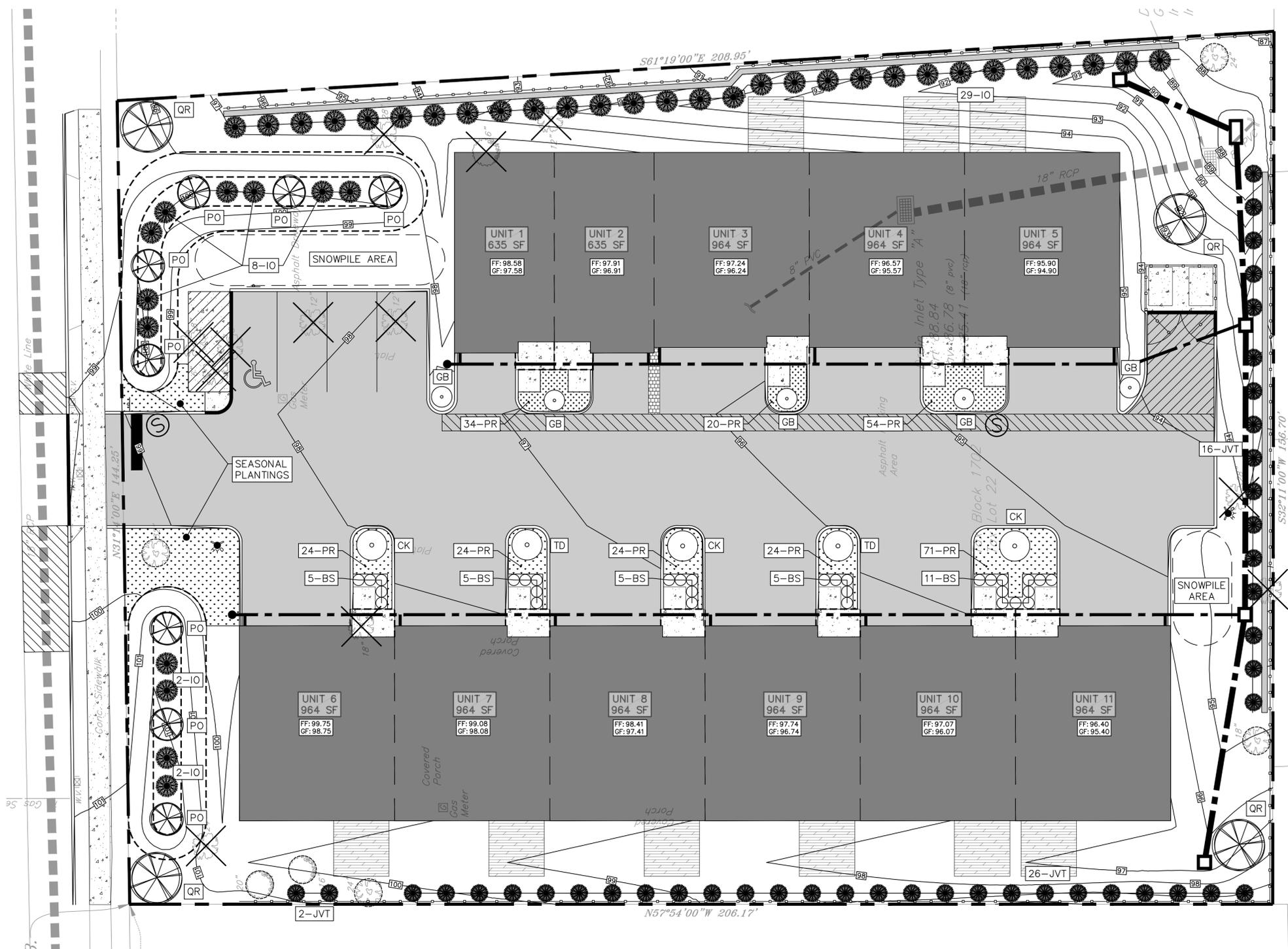
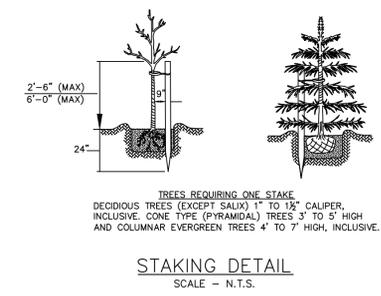
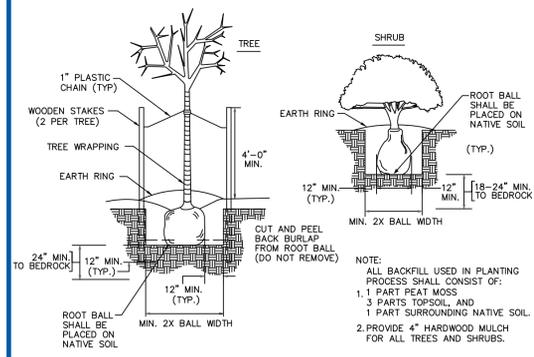
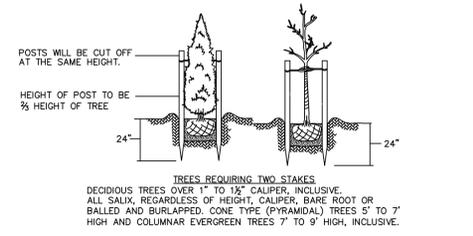
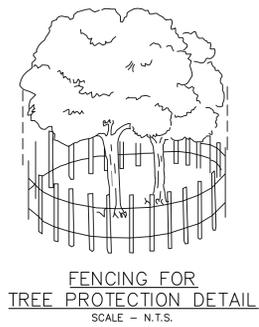
PROJECT #:
25-250

SHEET:
SP-5

LEGEND

TO BE REMOVED

PROTECT EXISTING TREE



PLANTING NOTES:

ALL PLANTS TO BE NURSERY GROWN AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM PLANTING.

ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" LAYER OF SHREDDED HARDWOOD SEEDING FOR SITE STABILIZATION.

SEE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR TEMPORARY AND PERMANENT TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL ACTIVITIES RELATED TO CONSTRUCTION, TO INCLUDE ANY IMPACTED AREAS NOT SHOWN ON PLANS. CONTRACTOR TO FIELD VERIFY AREAS OF SEED.

TOPSOIL SHALL BE SANDY LOAM; FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL; 4% ORGANIC MATTER; pH 5.0 TO 6.5.

PLANTS SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO THE EXISTING GRADE. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.

LOCATE GUY WIRES SO THAT THEY WILL NOT PULL CROTCH APART.

AREAS NOT DIRECTLY RELATED TO DEVELOPMENT WILL BE RETAINED IN THEIR NATURAL STATE.

ALL DECIDUOUS TREES SHALL HAVE A MINIMUM CALIPER OF 3.0 INCHES MEASURED AT A HEIGHT OF 4.5 FT. ABOVE THE TOP OF THE ROOT BALL AT THE TIME OF PLANTING.

ALL CONIFEROUS TREES SHALL HAVE A MINIMUM HEIGHT OF 8.0 FEET MEASURED ABOVE THE TOP OF THE ROOT BALL AT THE TIME OF PLANTING.

NEW PLANTING ARE TO BE ADJUSTED AS REQUIRED TO AVOID CONFLICTS WITH EXISTING TREES, NEW OR EXISTING UTILITIES, HARDSCAPE, OR OTHER INFRASTRUCTURE.

TREES LOCATED CLOSER THAN 3' TO THE CURBS SHALL BE LOCATED ON PARKING LOT STRIPING.

- NOTES:**
- REASONABLE MEASURES SHALL BE TAKEN TO PROTECT MATURE TREES SLATED TO REMAIN ALONG ALL LIMITS OF DISTURBANCE THROUGHOUT CONSTRUCTION.
 - ALL LANDSCAPING SHOWN ON THE LANDSCAPING PLAN SHALL BE MAINTAINED AND ANY DEAD OR DYING TREES SHALL BE REPLACED.
 - THE LANDSCAPE PLAN SHALL INCORPORATE CHANGES OR CLARIFICATIONS, IF ANY, AS RECOMMENDED BY A CERTIFIED LANDSCAPE ARCHITECT.
 - ALL TREES EXCEPT THOSE THAT ARE SHOWN TO BE REMOVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. ANY TREES WHICH ARE SLATED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.
 - ALL EXISTING TREES ON SITE ARE IN GENERALLY GOOD CONDITION. MITIGATION SHALL BE DETERMINED BY THE TOWNSHIP FORESTER.

TREE REMOVAL CHART

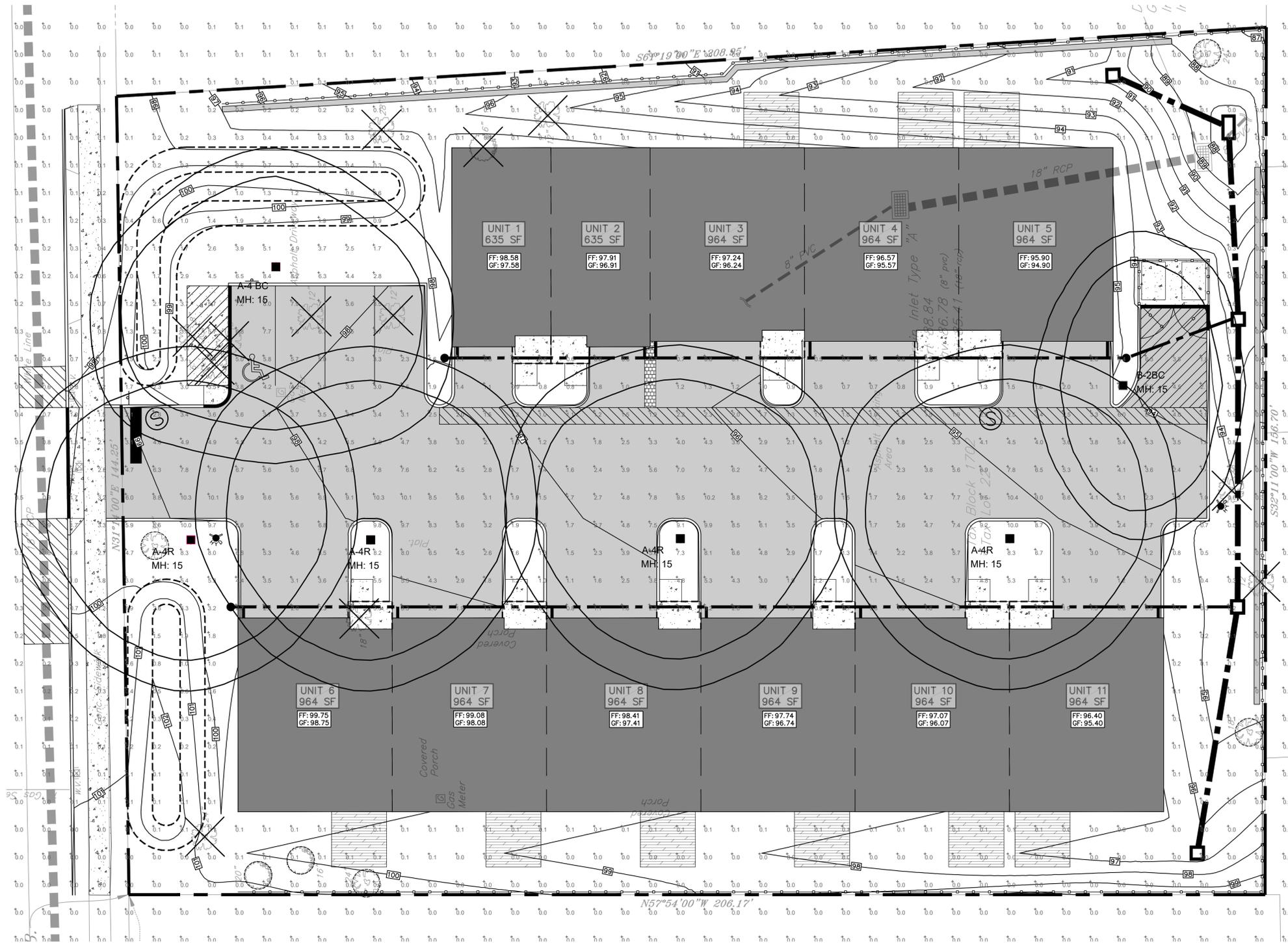
# TREES REMOVED	DIAMETER	EQUIVALENT NUMBER OF TREES
8 TREES	6" - 15"	1 REPLACEMENT TREE
1 TREES	16" - 23"	2 REPLACEMENT TREES
3 TREES	24" AND GREATER	4 REPLACEMENT TREES

TOTAL = (8 TREES x 1) + (1 TREE x 2) + (3 TREES x 4) = 22 REPLACEMENT TREES REQUIRED

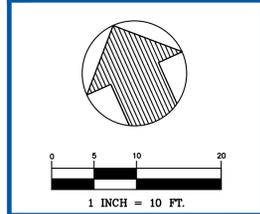
TREE PLANTING SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	TREE TYPE	SIZE/TYPING AT PLANTING	SPACING	QUANTITY
QR	QUERCUS RUBRA	NORTHERN RED OAK	DECIDUOUS	2.5"-3" CAL. B&B	30' C.C.	4
GB	GINKGO BILOBA	AUTUMN GOLD	DECIDUOUS	2.5"-3" CAL. B&B	4' C.C.	5
TD	TAXODIUM DISTICHUM	BALD CYPRESS	DECIDUOUS	2.5"-3" CAL. B&B	20' C.C.	2
CK	CORNUS KOUSA	CHINESE/KOREAN DOGWOOD	DECIDUOUS	2.5"-3" CAL. B&B	20' C.C.	3
IO	ILEX OPACA	AMERICAN HOLLY	EVERGREEN	6"-8" HT.	5' C.C.	41
JVT	JUNIPERUS VIRGINIANA TAYLOR	EASTERN RED CEDAR	EVERGREEN	6"-8" HT.	6' C.C.	44
PO	PICEA ORIENTALIS	SKYLANDS	EVERGREEN	6"-8" HT.	17' C.C.	8
BS	BUXUS SEMPERVIRENS	COMMON BOXWOOD	SHRUB	2' HT.	2' C.C.	31
PR	POLEMONIUM REPTANS	JACOBS LADDER	GROUND COVER	1 QT.	15" C.C.	167
HA	HUECHERA AMERICANA	CORAL BELLS	GROUND COVER	1 QT.	15" C.C.	108

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.



1	REVISED PER ZONING BOARD COMMENTS	01/29/26
REV	DESCRIPTION	DATE



CHECKED BY: SPD
DRAFTED BY: JAF

J. MICHAEL PETRY-PE, PP, RA
NJ PROFESSIONAL ENGINEER LIC. No. 36662
DATE: 10/06/2025

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR
ABBASI CONSTRUCTION, LLC
BLOCK 1702, LOT 22
21-25 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

TITLE:
LIGHTING PLAN

PROJECT #:
25-250

SHEET:
SP-6.1

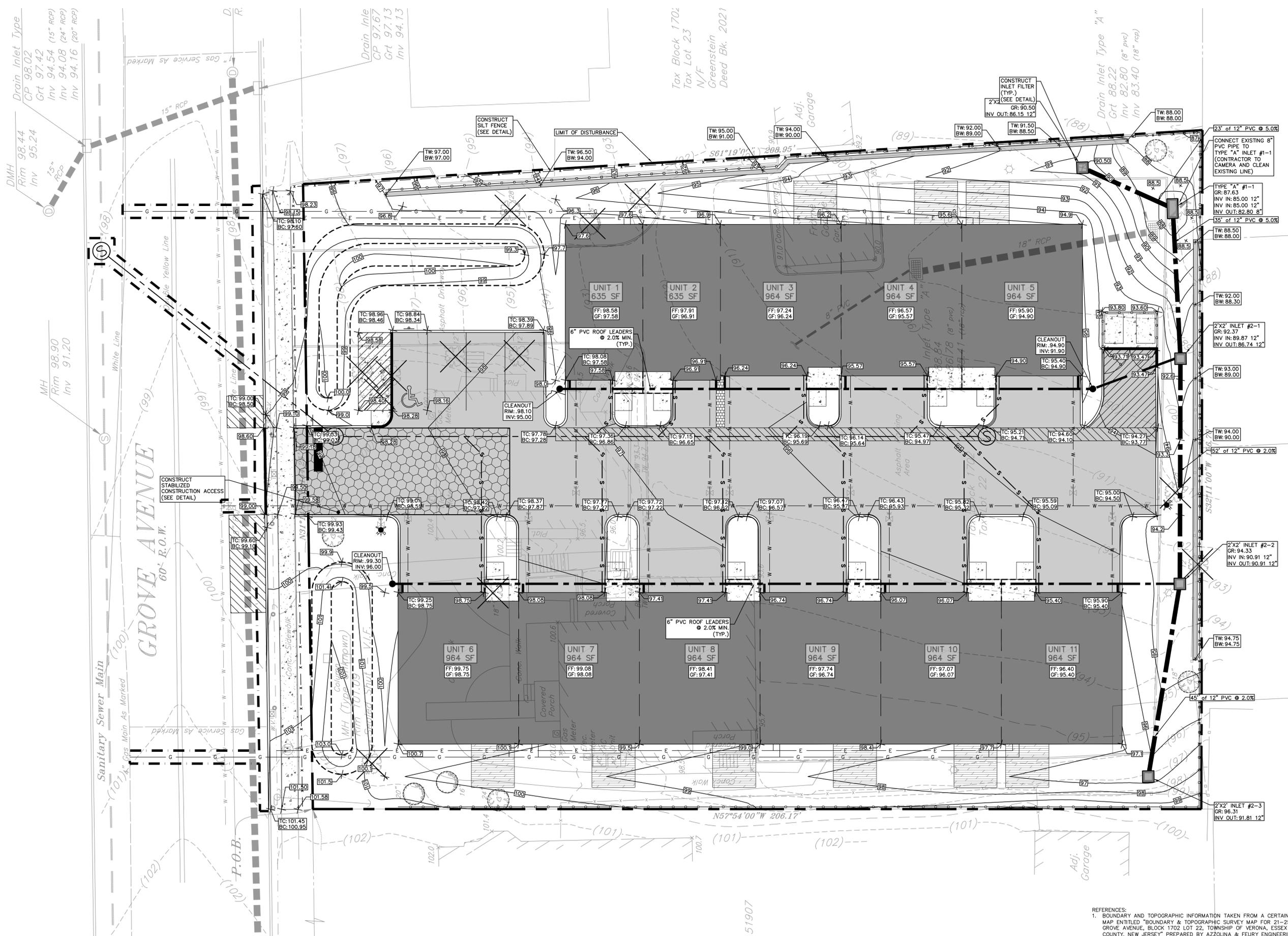
LUMINAIRE SCHEDULE "REFER TO LIGHTING FIXTURE DATASHEETS FOR COMPLETE CATALOG NUMBERS"

Symbol	Qty	Arrangement	Fixture Type	Description	Manufacturer	Catalog Number	CCT	LLF	Total Watts	Delivered Lumens	Mounting Height	Filename
■	1	Single	A-4-BC	18 IN WIDE POST TOP, TYPE 4 DISTRIBUTION, NOM 10,000 LUMENS, FLAT SOFT VUE MODERATE DIFFUSED ACRYLIC LENS AND BACK LIGHT SHIELD, LUF ADJUSTED FOR 3000K CCT	Sternberg Lighting	PTJXXL0560-FITTER-84L-3D-T4-MDL005-SV2-BLOC		0.846	97.9	9761	15	US600-84L-40-T4-MDL005-SV1-BLOC-ES
■	4	Single	A-4-R	18 IN WIDE POST TOP, TYPE 4 DISTRIBUTION, NOM 10,000 LUMENS, FLAT SOFT VUE MODERATE DIFFUSED ACRYLIC LENS, LUF ADJUSTED FOR 3000K CCT	Sternberg Lighting	PTJXXL0560-FITTER-84L-3D-T4-MDL005-SV2	3000K, 80 CRI	0.846	97.8	10927	15	US600-84L-40-T4-MDL005-SV2-ES
■	1	Single	B-2BC	18 IN WIDE POST TOP, TYPE 2 DISTRIBUTION, NOM 6000 LUMENS, FLAT SOFT VUE MODERATE DIFFUSED ACRYLIC LENS, BACK LIGHT CONTROL, LUF ADJUSTED FOR 3000K CCT	Sternberg Lighting	PTJXXL0560-FITTER-84L-3D-T2-MDL003-SV2	3000K, 80 CRI	0.828	46.8	597	15	US600-84L-40-T2-MDL003-SV2-BLOC-ES

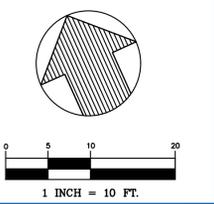
CALCULATION SUMMARY

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin	P50cLx	P50cTy
CALC POINTS TO ZERO	luminaire	Ft	0.0	0.0	0.0	N/A	N/A	10	10
PROPERTY LINE	luminaire	Ft	0.1	0.4	0.0	N/A	N/A	10	N/A
SITE Ground	luminaire	Ft	0.2	10.4	0.0	N/A	N/A	5	5
PARKING AND DRIVE LANES - REV 2	luminaire	Ft	3.9	10.4	1.0	3.9	10.4		

- LIGHTING NOTES:**
1. THE PROPOSED LIGHTING SHALL BE SET ON A DUSK TO DAWN TIMER.
 2. ALL PROPOSED LIGHT FIXTURES SHALL BE PROGRAMMABLE TO ALLOW FOR ADJUSTMENT ONCE INSTALLED.
 3. ALL PROPOSED FIXTURES AND THEIR RESPECTIVE POLES SHALL BE BLACK (UNLESS OTHERWISE SPECIFIED BY THE OWNER/ARCHITECT).
 4. ANY DEVIATION FROM THE SPECIFIED LIGHTING FIXTURES SHALL BE SUBMITTED IN WRITING TO PETRY ENGINEERING, LLC ALONG WITH THE ACCOMPANYING POINT BY POINT ANALYSIS AND MAY ALSO BE SUBJECT TO REVIEW AND APPROVAL BY THE TOWNSHIP PLANNING BOARD OR THEIR DESIGNEE.
 5. ALL LIGHTS MUST HAVE BACKSHIELDS AND HOUSE SIDE SHIELDS PROVIDED.
 6. THE TOWNSHIP RESERVES THE RIGHT TO REQUIRE MODIFICATION AND CHANGES IN THE PROPOSED LIGHTING FOR A SIX (6) MONTH ASSESSMENT PERIOD AFTER CONSTRUCTION OF THE PROJECT IS COMPLETED AND A CERTIFICATE OF OCCUPANCY IS ISSUED SO THAT THE TOWNSHIP OFFICIALS HAVE THE OPPORTUNITY TO DETERMINE WHAT IF ANY CHANGES ARE NECESSARY TO THE PROPOSED LIGHTING PLAN FOR 21-25 GROVE AVENUE, BLOCK 1702, LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.



REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26



CHECKED BY: SPD
 DRAFTED BY: JAF



J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER LIC. No. 36662
 DATE: 11/09/2025

PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN

PROJECT #:
25-250

SHEET:
SP-7.1

REFERENCES:
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.

51907

TEMPORARY STABILIZATION

SOILS EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, SHALL BE SEEDED & HAY MULCHED AND STABILIZED WITH TEMPORARY VEGETATIVE COVER OR OTHER APPROVED.

- STREETS, DRIVEWAYS AND PARKING AREAS NOT SCHEDULED FOR PAVING WITHIN THE ALLOTTED TIME FRAME SHALL BE STABILIZED USING PAVEMENT SUBBASE COURSE. THIS SUBBASE COURSE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
- ALL AREAS NOT SCHEDULED FOR PAVING SHALL RECEIVE A TEMPORARY SEEDING IMMEDIATELY FOLLOWING FOLLOWING ROUGH GRADING.
- APPLY FERTILIZER AT A RATE OF 500 LBS./ACRE OR 11 LBS./1,000 SF. OF 10-20-10 EQUIVALENT. APPLY LIMESTONE AT A RATE OF 2 TONS/ACRES.
- WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES UNTIL UNIFORM.
- TEMPORARY SEEDING WILL BE A MIX OF ANNUAL RYEGRASS OR PERENNIAL RYEGRASS AT A RATE OF 100 LBS./ACRE OR 1 LB./1,000 SF.
- UN-ROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS./1,000 SF.

PERMANENT STABILIZATION

- ALL AREAS NOT SCHEDULED FOR CONSTRUCTION OR LANDSCAPING TO BE STABILIZED USING SEED MIXTURE NO. 13 CONSISTING OF HARD FESCUE AND/OR CHEWING FESCUE AT A RATE OF 175 LBS./ACRE (4 LBS./1,000 SF), STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS & KENTUCKY BLUEGRASS (BLEND), BOTH AT A RATE OF 45 LBS./ACRE (1LB/1000 SF)
- UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO SPREAD TOPSOIL AT A RATE OF 500 LBS./ACRE OR 11 LBS./1,000 SF OF 10-10-10 EQUIVALENT.
- WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES UNTIL UNIFORM.
- REMOVE ALL SURFACE DEBRIS AND STONES 2 INCHES OR LARGER.
- UN-ROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS./1,000 SF.
- INSPECT SEEDBED JUST BEFORE SEEDING IF TRAFFIC HAS LEFT THE SOIL COMPACTED. THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
- A DEPTH OF 5 INCHES OF TOPSOIL (FIRMED IN PLACE) IS REQUIRED FOR ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER.

SOIL EROSION AND SEDIMENT CONTROL NOTES

(To be included on the signed erosion control plan sheet)

- All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" 7th Edition last revised July 2017, effective December 2017. These measures will be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
- Soil to be exposed or stockpiled for a period of greater than 14 days, and not under active construction, may be required to be temporarily mulched, and seeded or otherwise provided with vegetative cover as per Appendix A3. This temporary cover shall be maintained until such time whereby permanent reestablishment is established.
- Seeding Dates:** The following seeding dates are recommended to best establish permanent vegetative cover within most locations in the HEPSCD: **Spring - 3/1-5/15** and **Fall - 8/15 - 10/1**
- Sediment fences are to be properly trenched and maintained until permanent vegetative cover is established
- All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.
- Mulch materials shall be un-rotted small grain straw applied at the rate of 70 to 90 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District.
- All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any damage incurred by erosion shall be rectified immediately.
- The Hudson-Exes-Passaic Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. Fax - (862) 333-4507 OR email - INFORMATION@HEPSCD.ORG
- The applicant must obtain a District issued Report-of-Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipality, NJ - DCA or any other controlling agency.** Contact the District at 862-333-4505 to request a Final Inspection, giving advanced notice upon completion of the reestablishment measures. A performance deposit may be posted with the District when winter weather or snow cover prohibits the proper application of seed, mulch, fertilizer or hydro-seed.
- Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. Water pumped out of the excavated areas contains sediments that must be removed prior to discharging to receiving bodies of water using removable pumping stations, sump pits, portable sedimentation tanks and/or silt control bags.
- All surfaces having lawn or landscaping as final cover are to be provided topsoil prior to re-seeding, sodding or planting. A depth of 5.0 inches, firm in place, is required, as per the Standards for Topsoiling and Land Grading, effective December 2017.
- All plan revisions must be submitted to the District for proper review and approval.
- A crushed stone wheel cleaning tracking-pad is to be installed at all site exits using 2 1/2 - 1" crushed angular stone (ASTM 2 or 3) to a minimum length of 50 feet and minimum depth of 6". All driveways must be provided with crushed stone until paving is complete.
- Steep slopes incurring disturbance may require additional stabilization measures. These "special" measures shall be designed by the applicant's engineer and be approved by the Soil Conservation District.
- The Hudson-Exes-Passaic Soil Conservation District shall be notified, in writing, for the sale of any portion of the project or for the sale of individual lots. New owners' information shall be provided. Additional measures deemed necessary by District officials shall be implemented as conditions warrant.**

<http://hepscoiinj.org>
HEPSCD25ISESCNOTES_7THEDREV2017.DOC

SOIL COMPACTION EXEMPTION NOTE

AS DETERMINED BY THE STATE POLICY MAP THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

SEQUENCE OF CONSTRUCTION

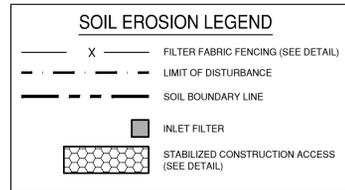
- INSTALL TEMPORARY EROSION CONTROL MEASURES (DURATION: APPROX. 2 DAYS)
- COMPLETE ALL DEMOLITION (DURATION: APPROX. 2 MONTHS)
- CONSTRUCTION IN ACCORDANCE WITH ARCHITECTURAL AND CIVIL DESIGN PLANS (DURATION: APPROX. 1 YEAR)
- REMOVE AND REINSTALL FILTER FABRIC AS NEEDED TO ACCOMMODATE CONSTRUCTION SEQUENCING. (DURATION: APPROX. 1 DAY)
- FINAL GRADING AND STABILIZATION (DURATION: APPROX. 2 DAYS)
- UPON STABILIZATION OF ALL AREAS, REMOVE ALL SOIL EROSION DEVICES AND CLEAN ENTIRE DRAINAGE SYSTEM. (DURATION: APPROX. 1 DAY)

SOIL EXCAVATION AND FILL NOTES:

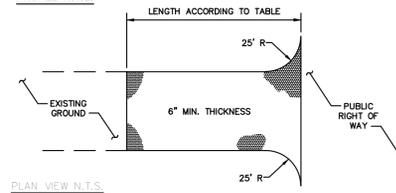
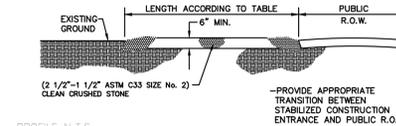
- ANY EXCESS EXCAVATED SOIL SHALL BE TRUCKED OFFSITE. ANY FILL TO BE IMPORTED TO THE SITE SHALL BE CERTIFIED AS CLEAN IN ACCORDANCE WITH NJDEP STANDARDS.
- THE APPLICANT IS REQUIRED TO PROVIDE EVIDENCE TO THE SOURCE OF ANY FILL TO BE BROUGHT TO THE SITE.
- THE TOWNSHIP OF VERONA HAS A SOIL REMOVAL ORDINANCE (SECTION 440) AND ANY SOIL TO BE MOVED IS SUBJECT TO REVIEW AND APPROVAL BY TOWNSHIP COUNCIL.

SOIL MOVEMENT QUANTITIES

CUT: 340 CY
FILL: 2,533 CY
NET: 2,193 CY (F)

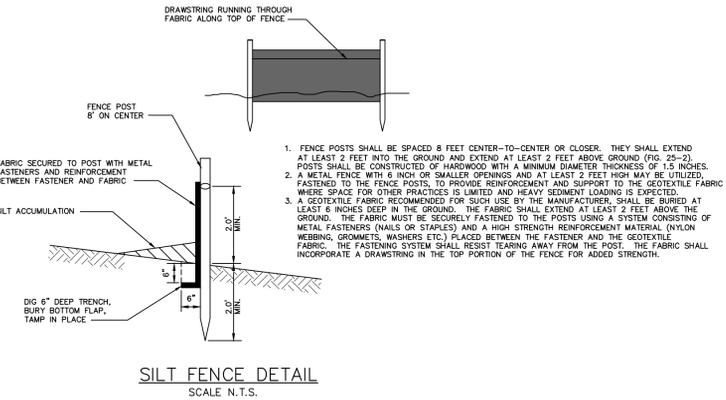
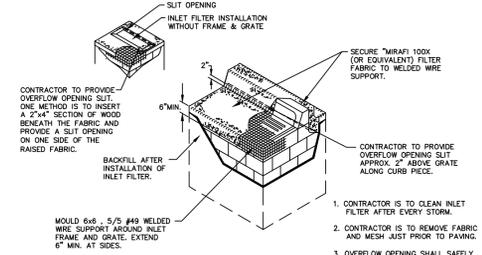


TOTAL AREA OF DISTURBANCE:
34,000 SQ.FT. OR 0.781± AC.



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

STABILIZED CONSTRUCTION ACCESS DETAIL
SCALE N.T.S.



DUST CONTROL NOTES:

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST

- MULCHES** - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1).
- VEGETATIVE COVER** - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1) AND PERMANENT STABILIZATION WITH SOD (PG 6-1).
- SPRAY-ON ADHESIVES** - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- TILLAGE** - TO TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE IF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP THE SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

MATERIAL	WATER DILUTION	TYPE OF NOZZEL	APPLY GALLONS/AC RE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLA MIDE (PAM) SPRAY ON/DRY SPRAY	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1)		
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

PETRY ENGINEERING, LLC
 1000 W. GARDEN ST. SUITE 100
 VERONA, NJ 07093
 TEL: (973) 227-7004 FAX: (973) 227-7074
 PET@PETRYENGINEERING.COM

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/20

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 DRAFTED BY: JAF

PETRY ENGINEERING, LLC

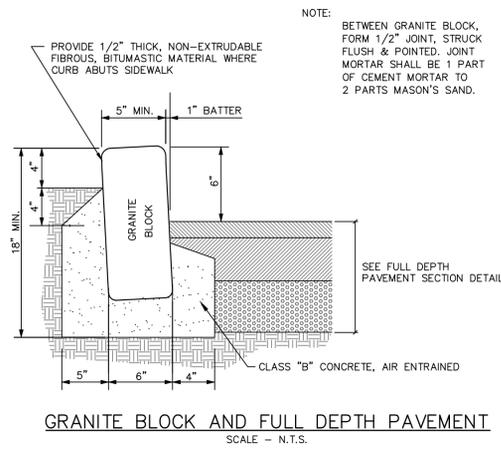
J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER LIC. NO. 36662
 DATE: 10/09/2020

PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

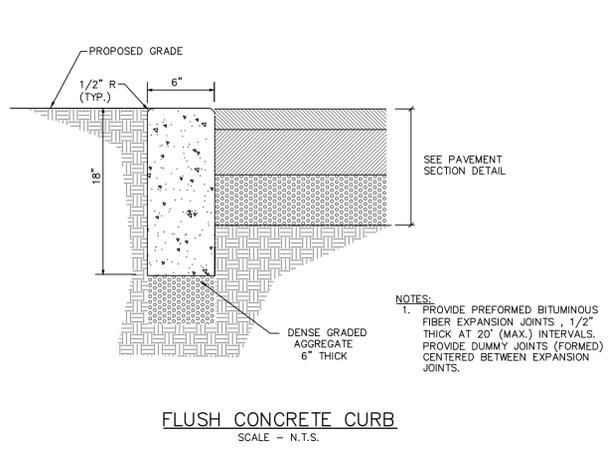
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SESC NOTES AND DETAILS

PROJECT #:
25-250

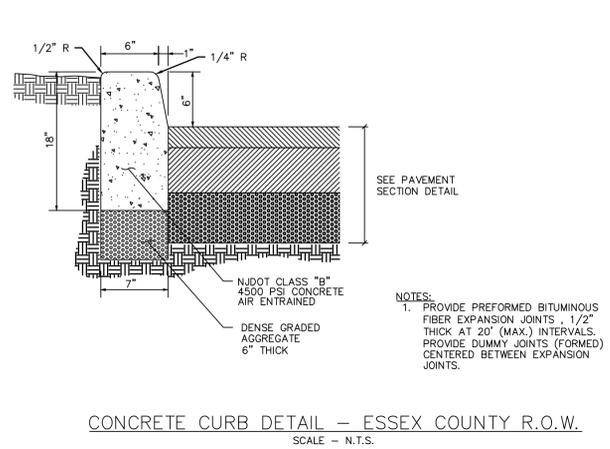
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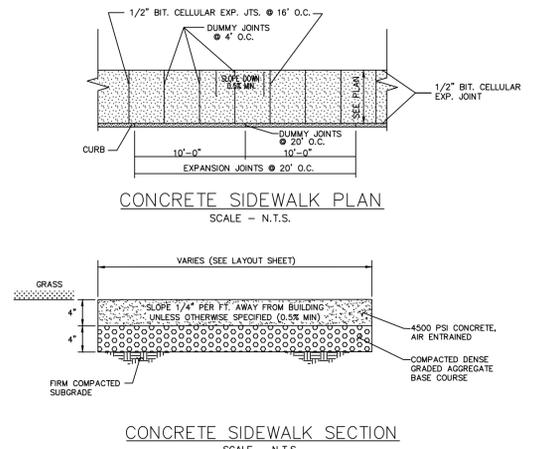
GRANITE BLOCK AND FULL DEPTH PAVEMENT
SCALE - N.T.S.



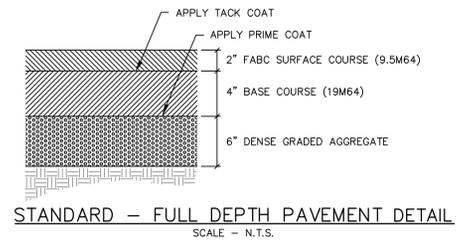
FLUSH CONCRETE CURB
SCALE - N.T.S.



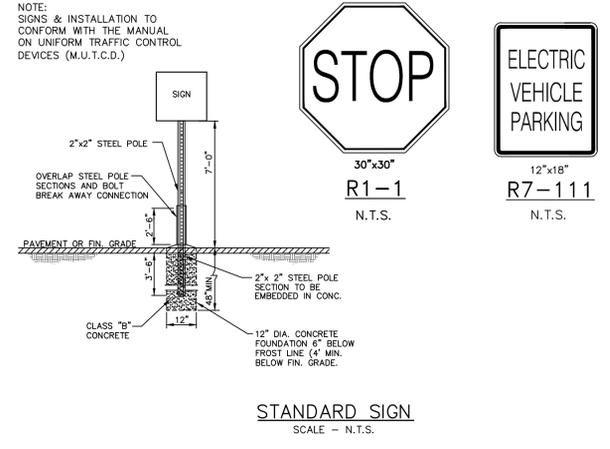
CONCRETE CURB DETAIL - ESSEX COUNTY R.O.W.
SCALE - N.T.S.



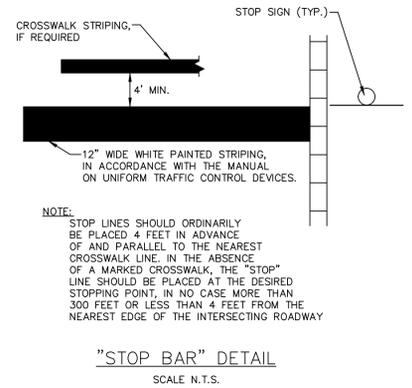
CONCRETE SIDEWALK SECTION
SCALE - N.T.S.



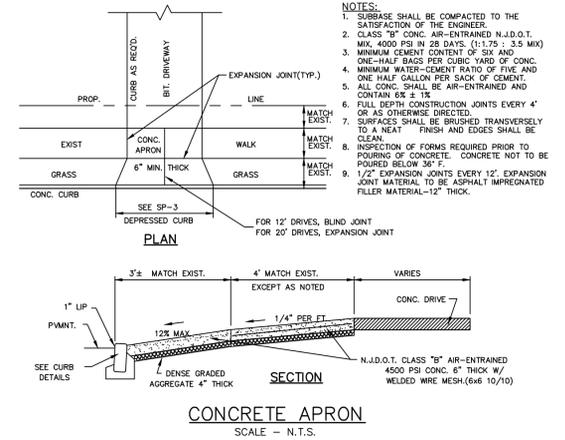
STANDARD - FULL DEPTH PAVEMENT DETAIL
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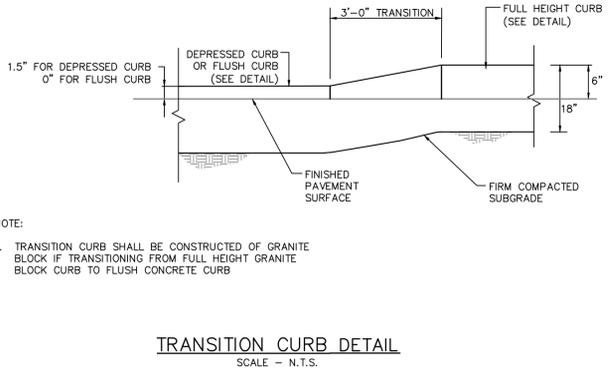
STANDARD SIGN
SCALE - N.T.S.



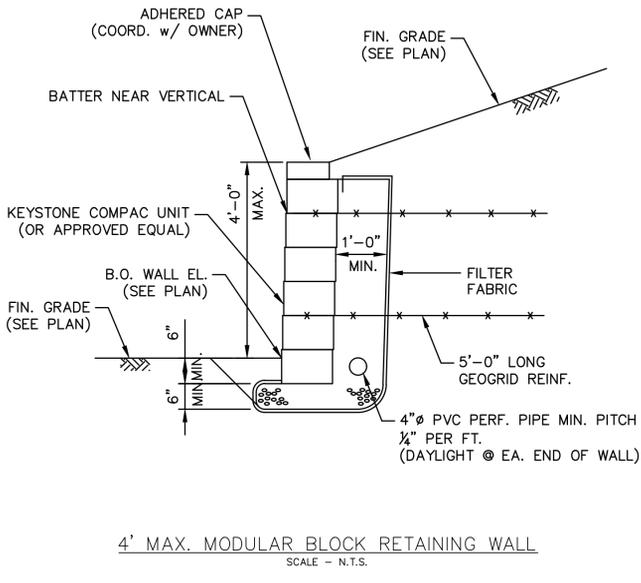
"STOP BAR" DETAIL
SCALE N.T.S.



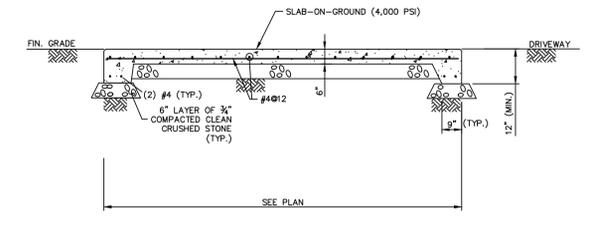
CONCRETE APRON
SCALE - N.T.S.



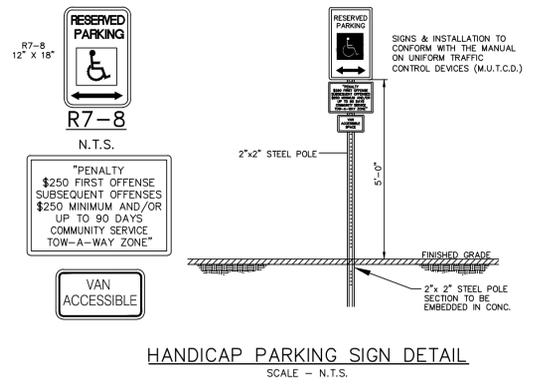
TRANSITION CURB DETAIL
SCALE - N.T.S.



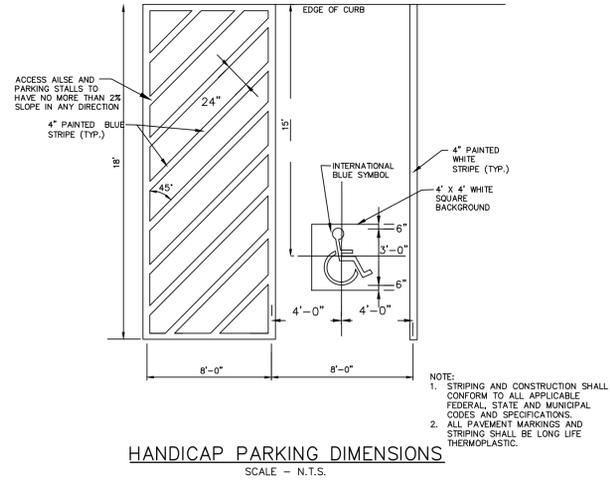
4' MAX. MODULAR BLOCK RETAINING WALL
SCALE - N.T.S.



REFUSE CONCRETE PAD DETAIL
(SCALE - N.T.S.)



HANDICAP PARKING SIGN DETAIL
SCALE - N.T.S.



HANDICAP PARKING DIMENSIONS
SCALE - N.T.S.



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NJ PROFESSIONAL ENGINEER LIC. No. 36862
DATE: 10/06/2025

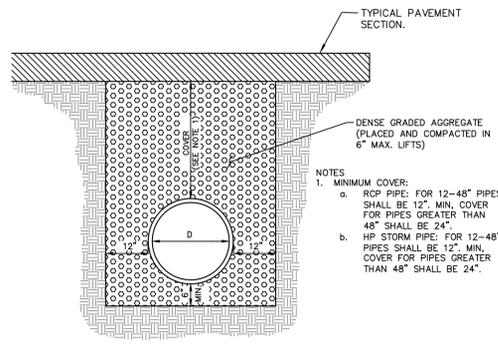
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BLOCK 1702, LOT 22
21-25 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

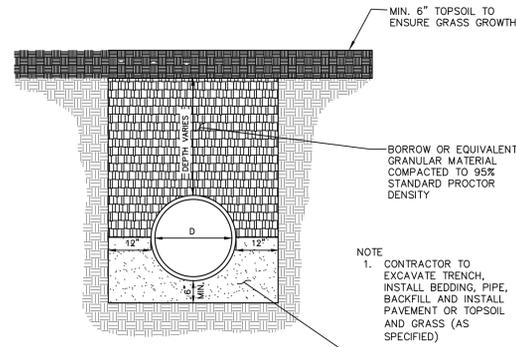
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CONSTRUCTION DETAILS

PROJECT #:
25-250

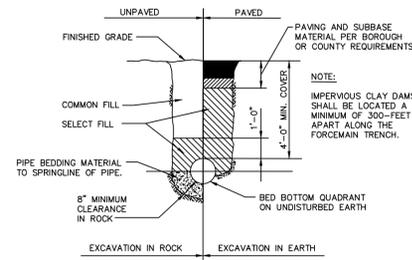
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SP-8.2



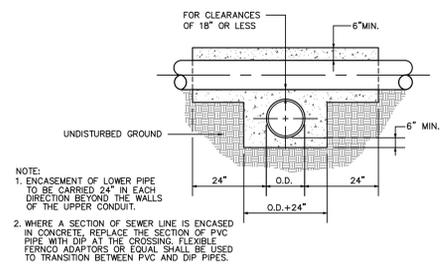
STORM SEWER TRENCH DETAIL (PAVED AREAS)
SCALE - N.T.S.



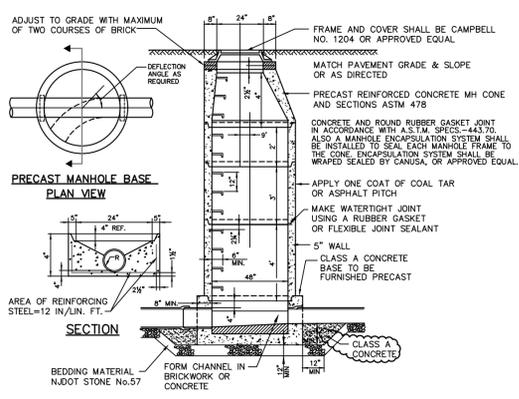
STORM SEWER TRENCH DETAIL (NON-PAVED AREAS)
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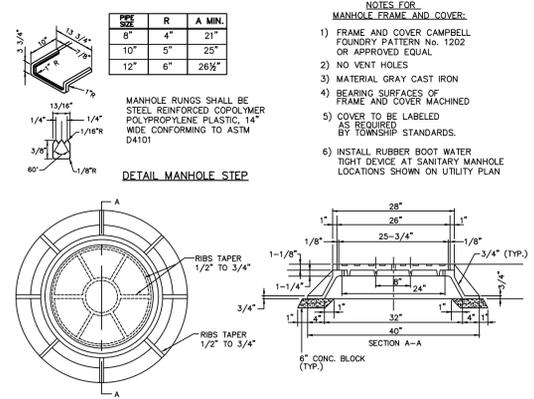
TYPICAL TRENCH DETAIL FOR UTILITIES
SCALE - N.T.S.



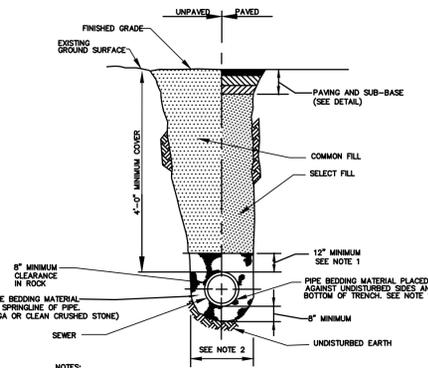
UTILITY CROSSING
SCALE - N.T.S.



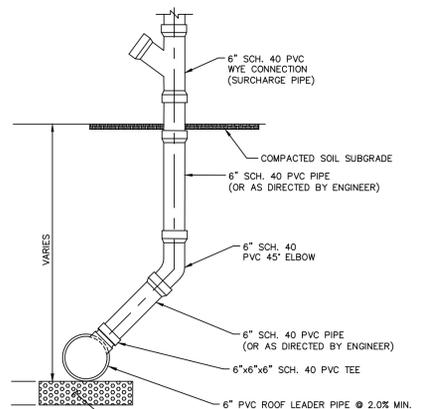
48" PRECAST CONCRETE MANHOLE
SCALE - N.T.S.



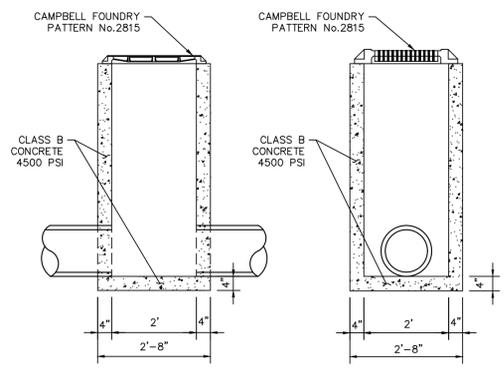
STANDARD MANHOLE FRAME & COVER DETAIL
SCALE - N.T.S.



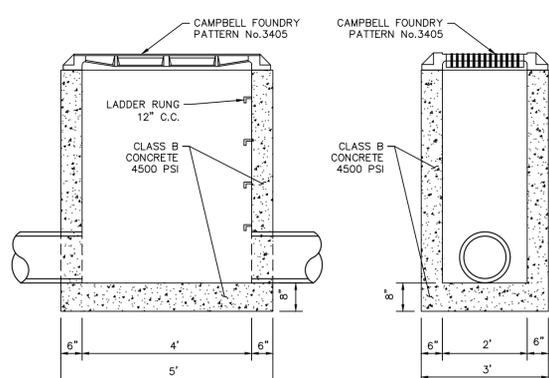
TYPICAL TRENCH DETAIL FOR PVC SDR-35 SEWER PIPE
SCALE N.T.S.



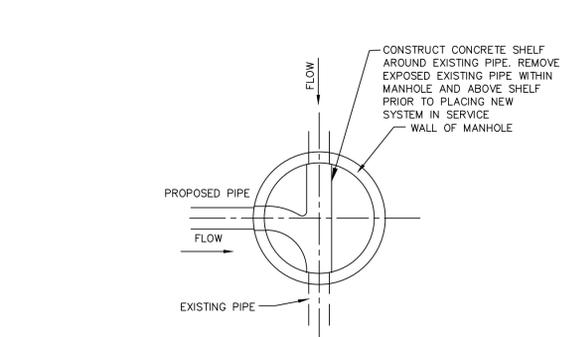
ROOF LEADER DRAIN
SCALE - N.T.S.



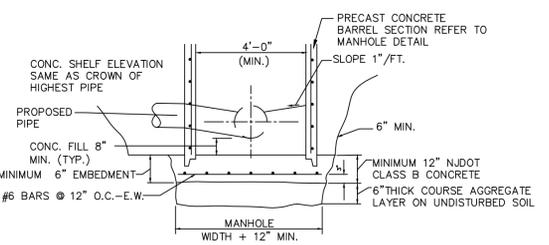
2' X 2' INLET
SCALE - N.T.S.



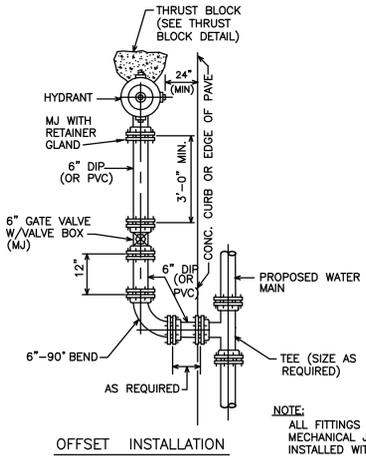
TYPE "A" INLET
SCALE - N.T.S.



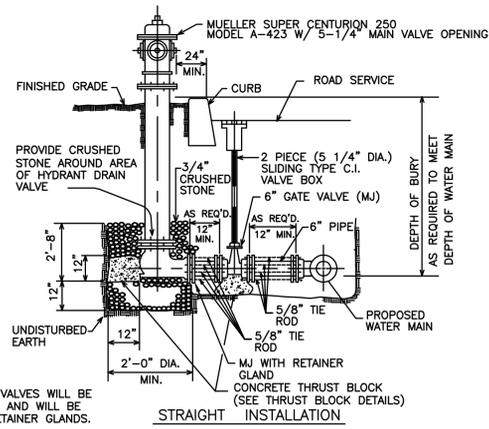
DOGHOUSE STRUCTURE (IF REQUIRED)
SCALE - N.T.S.



CONSTRUCTION NOTES:
1. SEE PRECAST STANDARD MANHOLE DETAIL FOR TYPICAL INSTALLATION.
2. PRECAST MANHOLE SECTION TO BE IN ACCORDANCE WITH ASTM DESIGNATION C-478



OFFSET INSTALLATION



STRAIGHT INSTALLATION

TYPICAL HYDRANT DETAILS
N.T.S.



REV	DESCRIPTION	DATE
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21-25 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

TITLE:
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PROJECT #:
25-250

SHEET:
SP-8.3



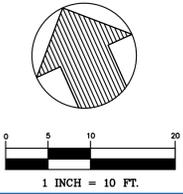
Drain Inlet
CP 97.67
Grt 97.13
Inv 94.13

Tax Block 170;
Tax Lot 23
N/F
Greenstein
Deed Bk. 2021

Drain Inlet Type "A"
Grt 88.22
Inv 82.80 (8" pvc)
Inv 83.40 (18" rap)



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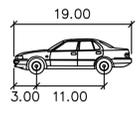
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ESSEX COUNTY, NEW JERSEY

TITLE:
TURNING MOVEMENTS

PROJECT #:
25-250

SHEET:
TM-1



P
feet
Width : 7.00
Track : 6.00
Lock to Lock Time : 6.0
Steering Angle : 31.6

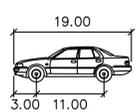
REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.



Tax Block 1;
Tax Lot 23
N/F
Greenstein
Deed Bk. 2C

Drain Inlet Type "
Grt 88.22
Inv 82.80 (8" pvc)
Inv 83.40 (18" rep)

GROVE AVENUE
60' R.O.W.

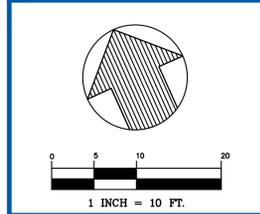


P
Width : 7.00
Track : 6.00
Lock to Lock Time : 6.0
Steering Angle : 31.6

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.

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100 PARKWAY, SUITE 1000, VERONA, NJ 07093-3000
TEL: (973) 227-7004 FAX: (973) 227-7074
PETRYENGINEERING.COM

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26



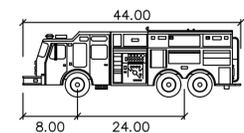
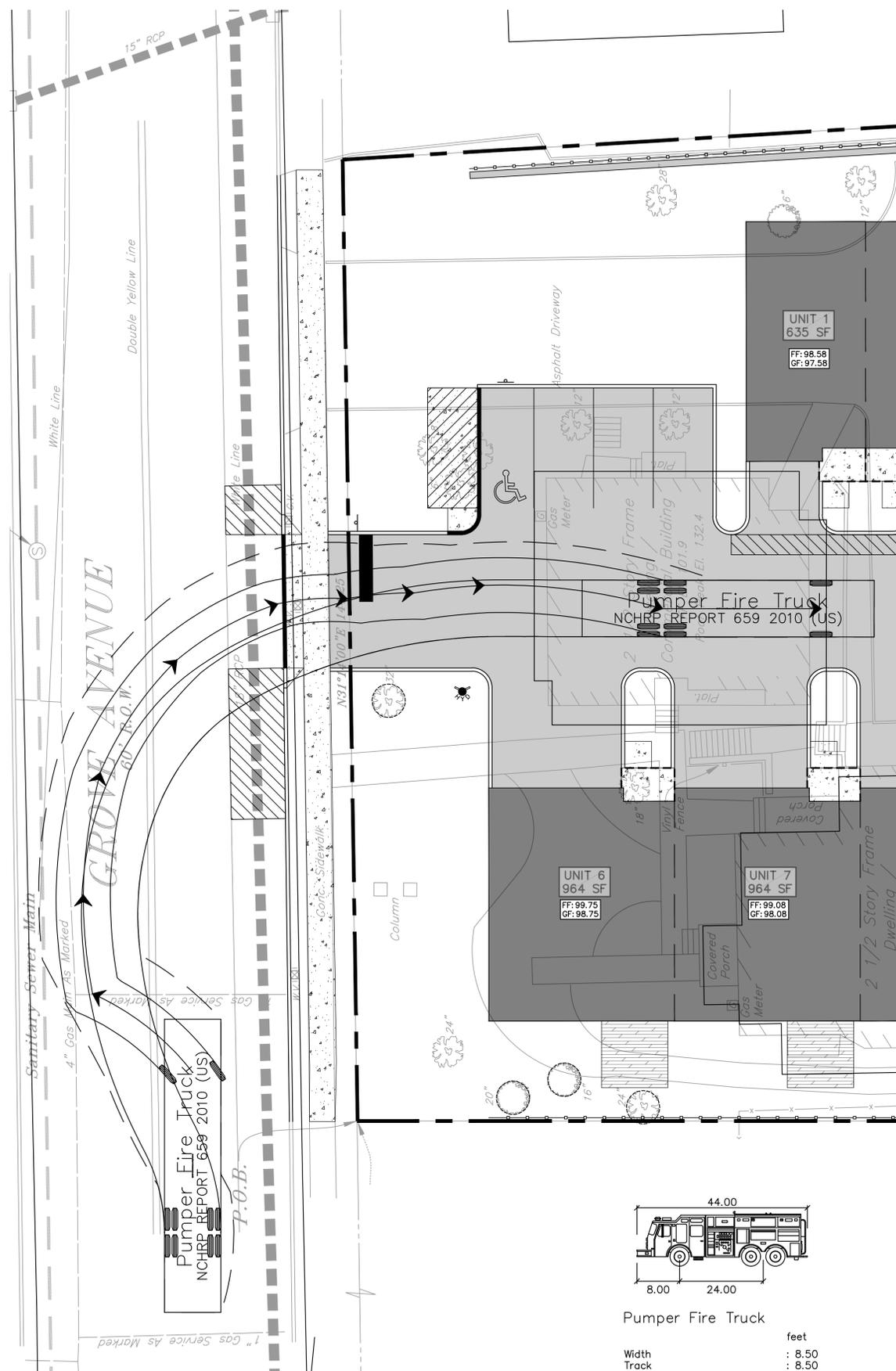
CHECKED BY: SPD
DRAFTED BY: JAF

J. MICHAEL PETRY-PE, PP, RA
NJ PROFESSIONAL ENGINEER LIC. No. 36662
DATE: 10/09/2025
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PREPARED FOR
ABBASI CONSTRUCTION, LLC
BLOCK 1702, LOT 22
21-25 GROVE AVENUE
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

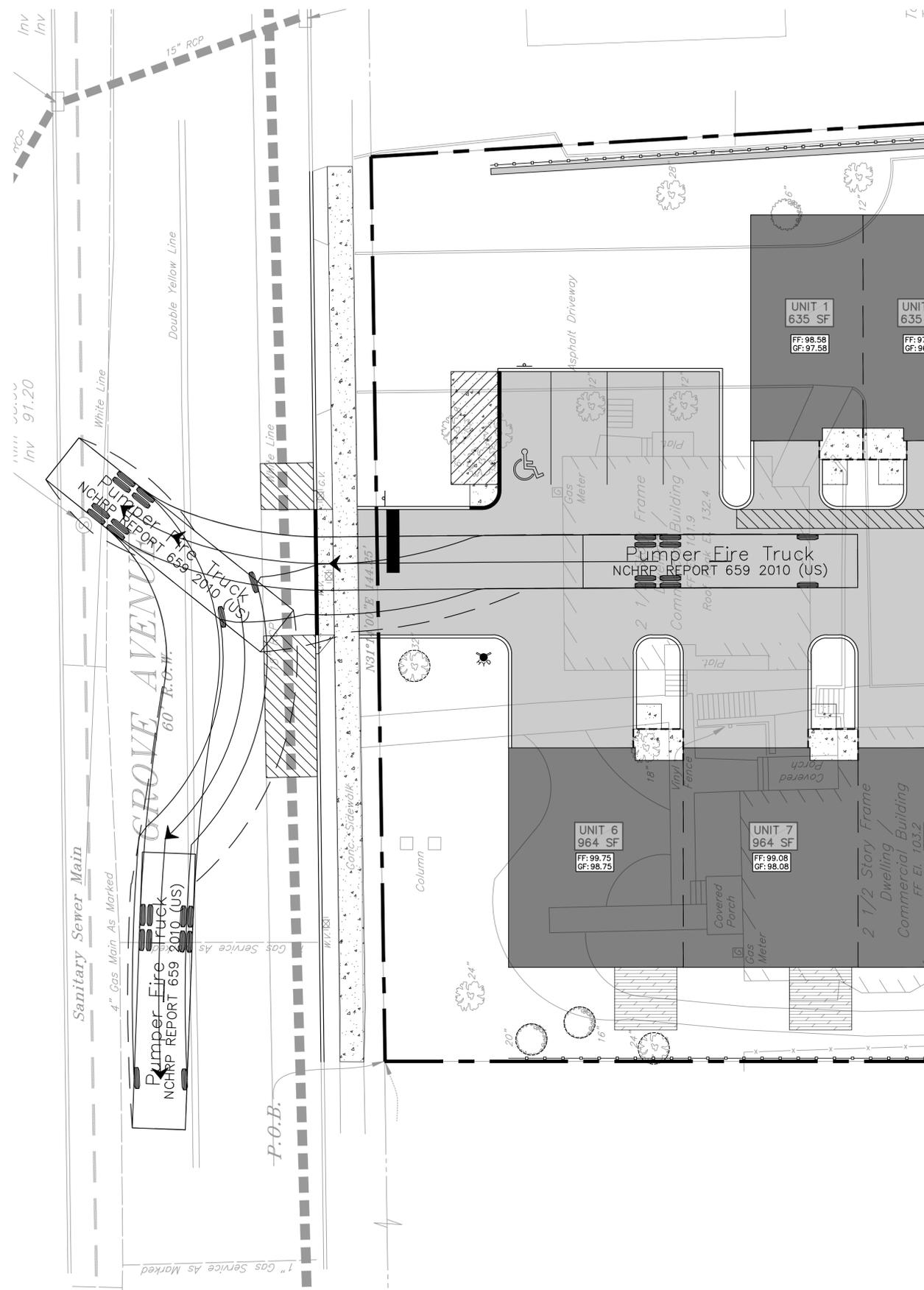
TITLE:
TURNING MOVEMENTS

PROJECT #: **25-250** SHEET: **TM-2**



Pumper Fire Truck

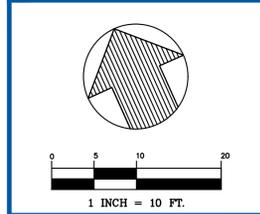
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Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 37.8



REFERENCES:
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.



REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26



CHECKED BY: SPD
 DRAFTED BY: JAF



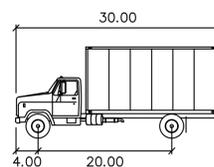
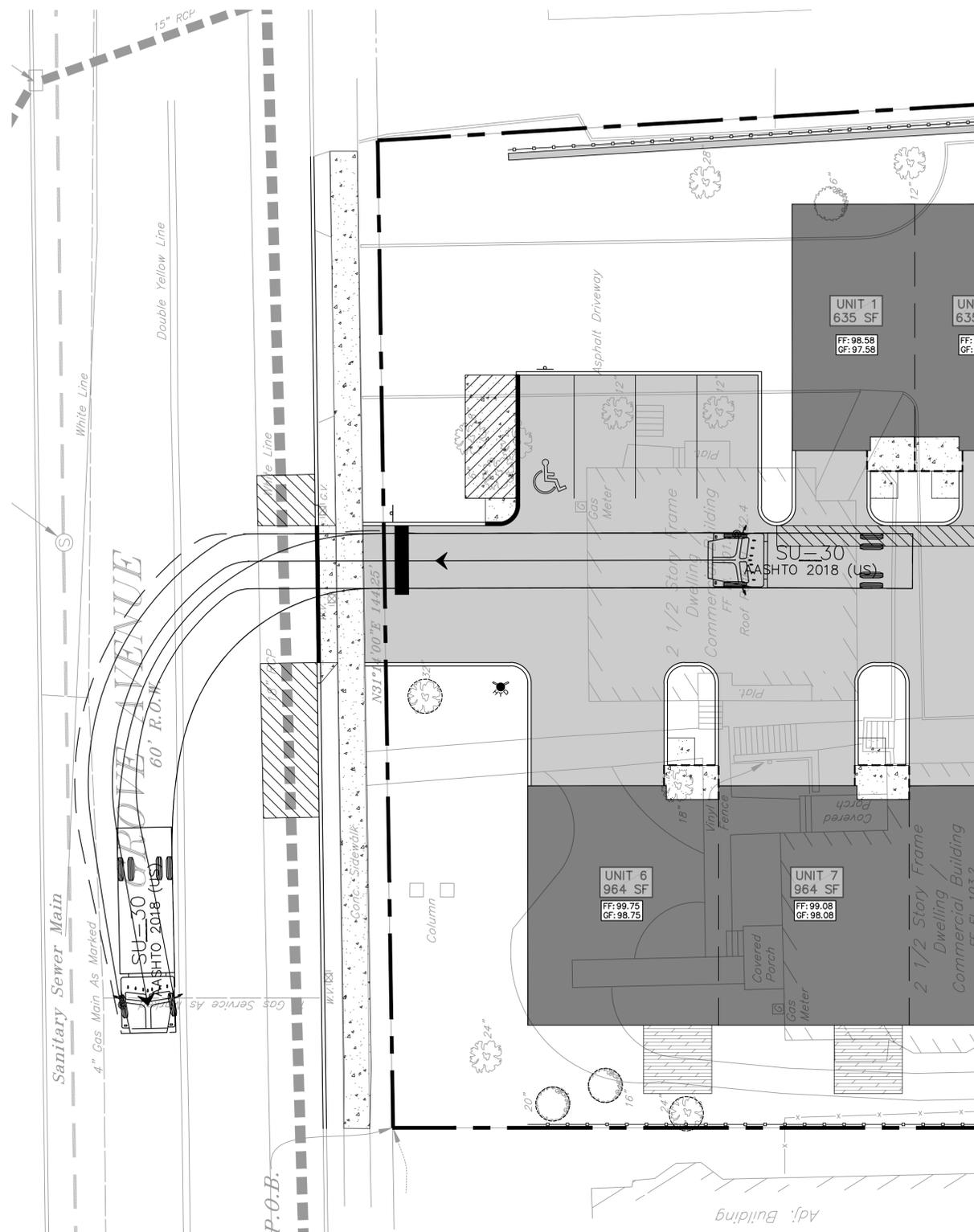
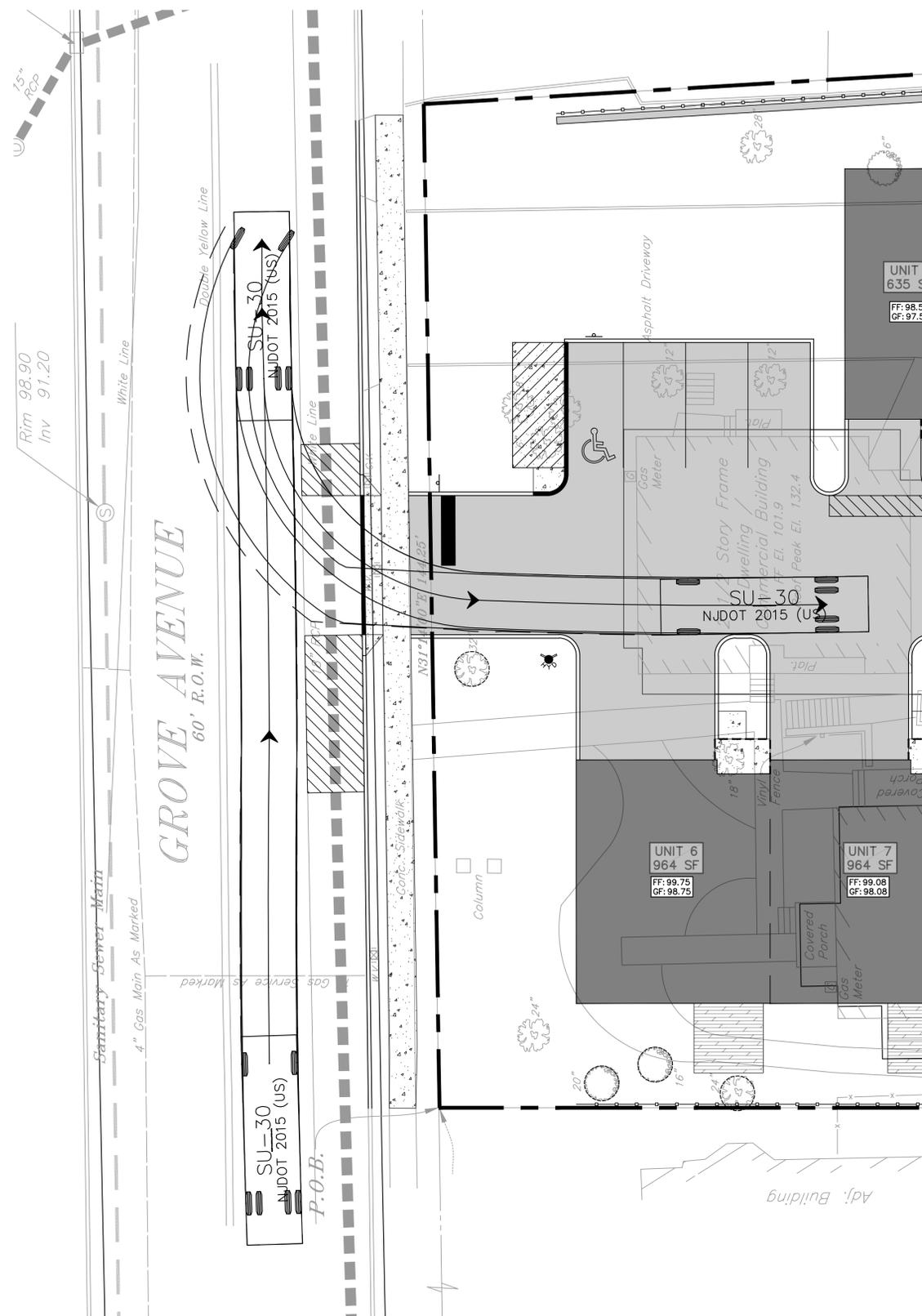
J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER LIC. No. 36662
 DATE: 10/06/2025

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PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

TITLE:
FIRETRUCK TURNING MOVEMENTS

PROJECT #: **25-250** SHEET: **TM-3**



SU-30	
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

REFERENCES:
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.



REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26

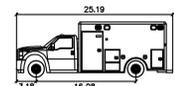
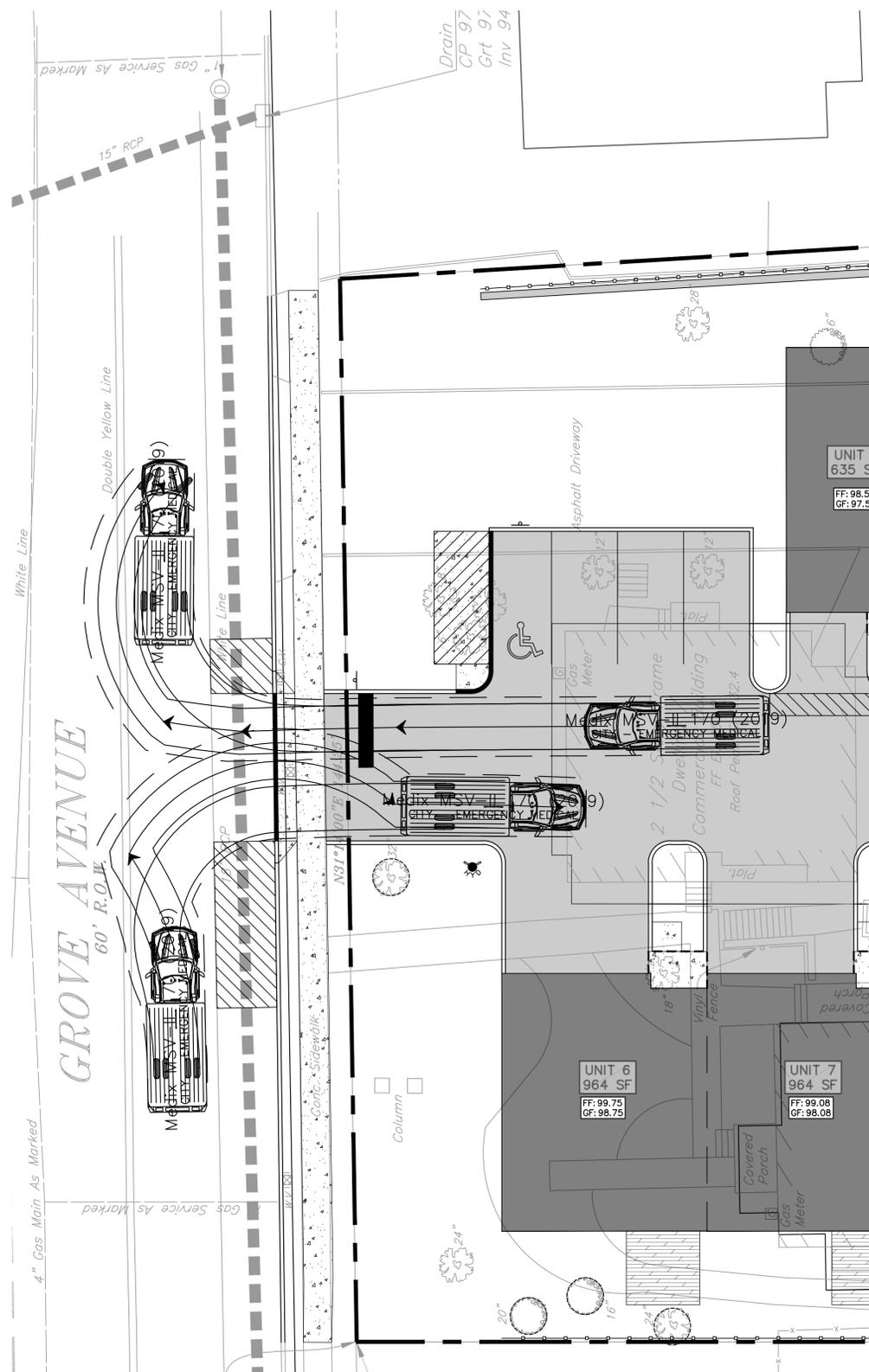
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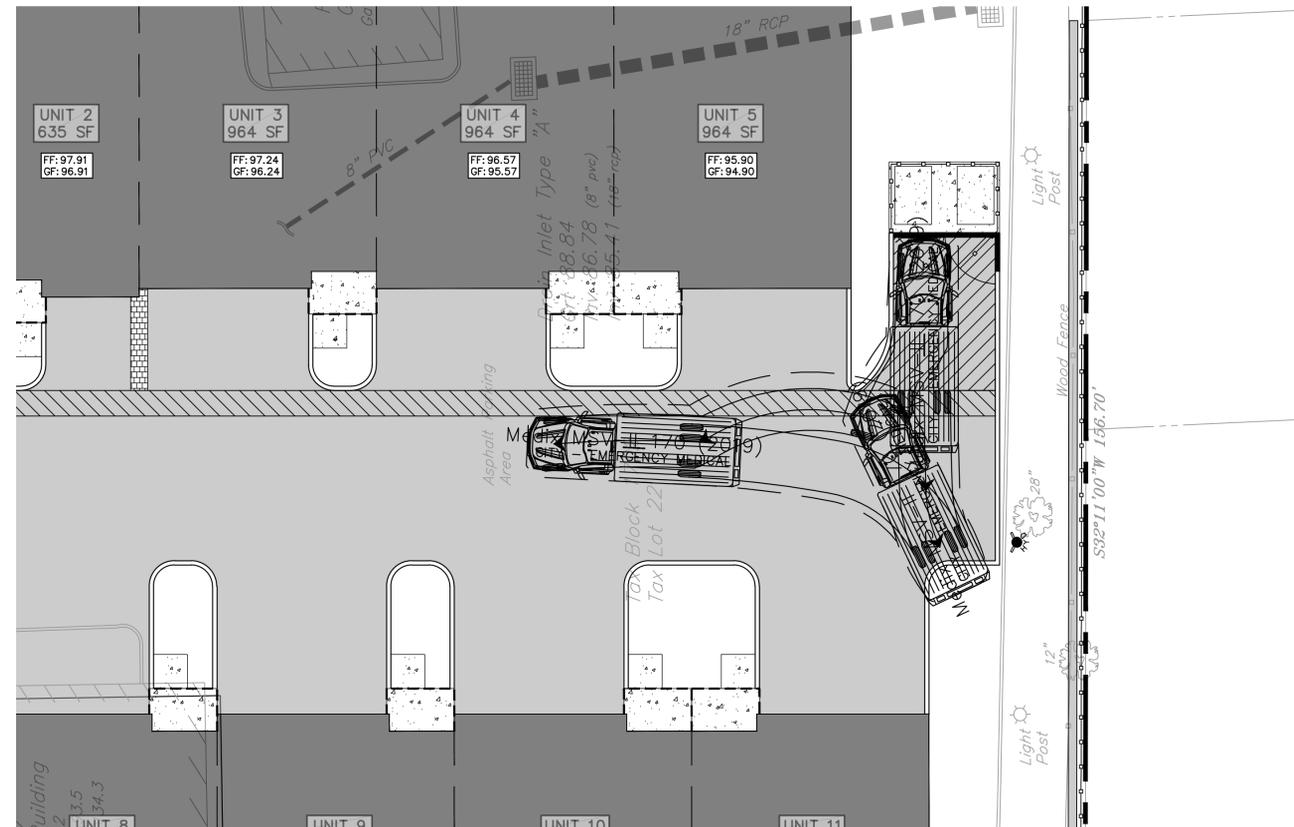
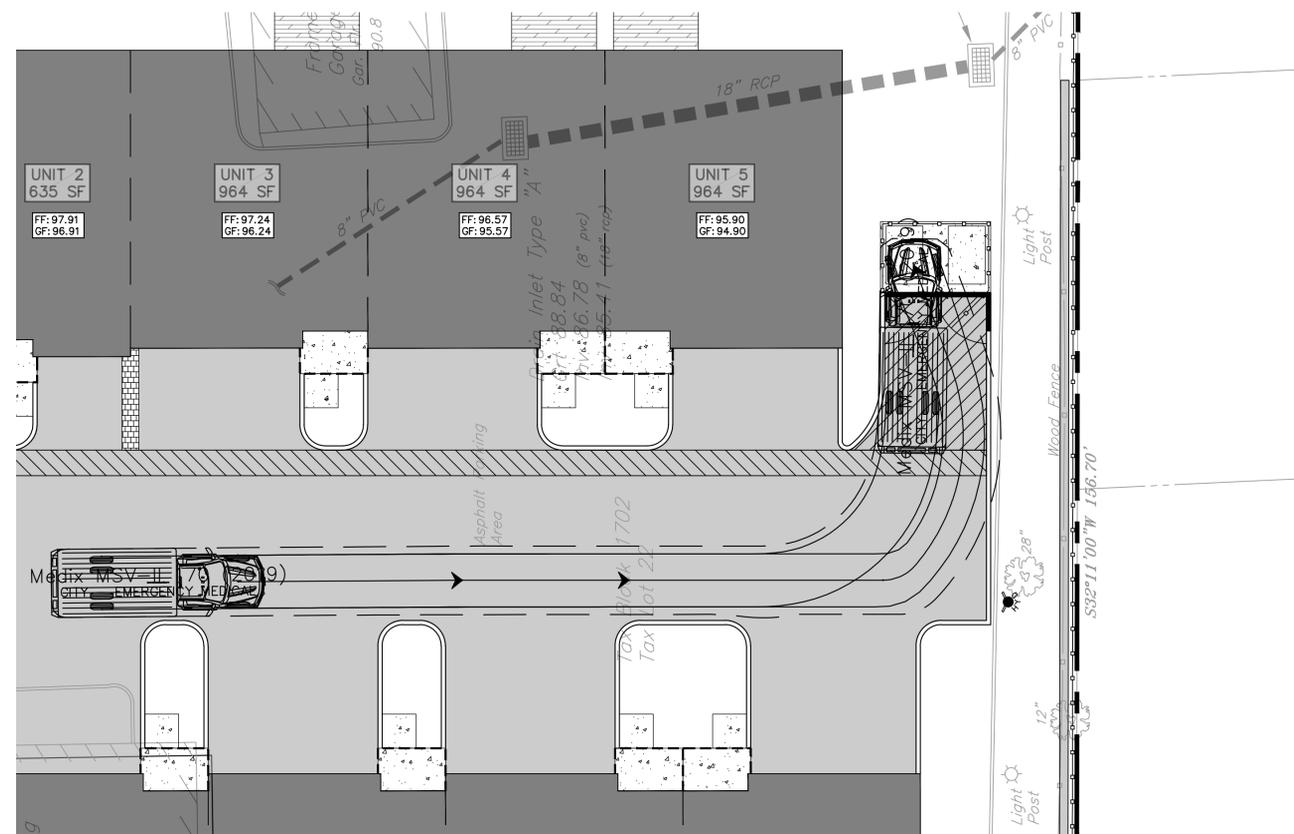
J. MICHAEL PETRY-PE,PP,RA
 NJ PROFESSIONAL ENGINEER LIC. No. 36662
 DATE: 10/02/25

PREPARED FOR
ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

TITLE:	SU-30 TURNING MOVEMENTS
PROJECT #:	25-250
SHEET:	TM-4



Medix MSV-II 170 (2019)
 Width : 8.00 feet
 Track : 6.23
 Lock to Lock Time : 6.0
 Steering Angle : 43.5



REFERENCES:
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP FOR 21-25 GROVE AVENUE, BLOCK 1702 LOT 22, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY AZZOLINA & FEURY ENGINEERING INC. AND SIGNED BY JOHN A. LOCH, P.L.S. DATED 08/05/2025.

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 TEL: (973) 227-2004 FAX: (973) 227-7974
 PE@PETRYENGINEERING.COM

REV	DESCRIPTION	DATE
1	REVISED PER ZONING BOARD COMMENTS	01/29/26

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PETRY ENGINEERING, LLC

J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER LIC. No. 36662
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ABBASI CONSTRUCTION, LLC
 BLOCK 1702, LOT 22
 21-25 GROVE AVENUE
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY

TITLE:
AMBULANCE TURNING MOVEMENTS

PROJECT #:
25-250

SHEET:
TM-5